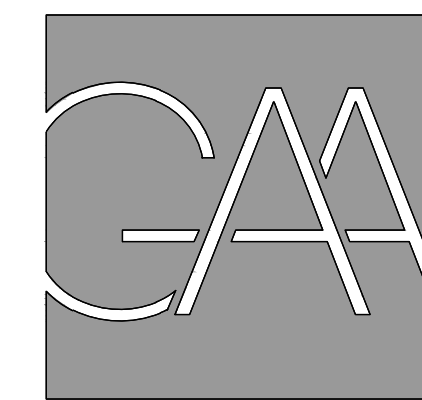


VIRGINIA DEPARTMENT OF TRANSPORTATION PETERSBURG & SOUTH HILL, VA

State Project No. 501-B2501-012

PETERSBURG & SOUTH HILL RESIDENCY RESTROOM RENOVATIONS

PERMIT SET 12-12-2022



**G A U T H I E R
A L V A R A D O
A S S O C I A T E S**

ARCHITECTURE | ENGINEERING | PLANNING
10201 FAIRFAX BOULEVARD, SUITE 225, FAIRFAX, VIRGINIA
703-241-2202 WWW.GAA-AE.COM

GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, AND STATE GOVERNING ORDINANCES, CODES AND REGULATIONS.
- ALL MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS. (ALL WOOD FOR FRAMING OR BLOCKING SHALL BE FIRE RETARDANT TREATED.)
- VISIT AND BECOME FAMILIAR WITH THE SITE AND BUILDING PRIOR TO BID. INCLUDE THE COST OF ALL WORK DESCRIBED IN THE CONTRACT DOCUMENTS AND THAT IS REQUIRED OR REASONABLY IMPLIED TO ACHIEVE THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- CLOSE AND SEAL ABANDONED OPENINGS TO MATCH EXISTING ADJACENT SURFACES WHERE PLUMBING, MECHANICAL, AND ELECTRICAL ITEMS ARE REMOVED.
- PROVIDE FRAMED SUPPORT FOR ALL DUCTS AND MECHANICAL EQUIPMENT AS REQUIRED FOR COMPLETE SUPPORT AT 2-1/2 TIMES LOAD.
- MAINTAIN THE INTEGRITY OF ALL EXISTING FIRE RATED ASSEMBLIES.
- FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH VCC SECTION 3302.3, AND VEBC SECTIONS, 1201.5 AND 1204.2. COMPLY WITH NFPA 241 FOR CONDITIONS NOT COVERED BY THE VCC.
- PROTECT EXISTING BUILDING FROM WEATHER DURING EXECUTION OF THE WORK; AND PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO EXISTING ADJACENT BUILDINGS AND FACILITIES TO REMAIN. PROVIDE PROTECTION TO ENSURE SAFE PASSAGE OF PEOPLE AROUND SELECTIVE DEMOLITION AREA. PROTECT WALLS, CEILINGS, FLOORS, AND OTHER EXISTING FINISH WORK THAT ARE TO REMAIN OR THAT ARE EXPOSED TO SELECTIVE DEMOLITION OPERATIONS. COVER AND PROTECT FURNITURE, FURNISHINGS, AND EQUIPMENT THAT HAVE NOT BEEN REMOVED. REMOVE ALL TEMPORARY BARRICADES AND PROTECTIONS WHERE HAZARDS NO LONGER EXIST. ALL ITEMS DAMAGED DURING THE WORK SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

STATEMENTS

ASBESTOS STATEMENT: BUILDING #4250004
(ASBESTOS PRESENT BUT NOT TO BE DISTURBED) AN INSPECTION TO IDENTIFY ASBESTOS-CONTAINING MATERIALS HAS BEEN CONDUCTED AND CAN BE FOUND AS PART OF APPENDIX A TO THE PROJECT SPECIFICATIONS. MATERIALS CONTAINING ASBESTOS BUT ARE NOT TO BE DISTURBED WERE IDENTIFIED BY THE REPORT IN THE BUILDING. SHOULD THE CONTRACTOR ACCESS ANY MATERIAL SUSPECTED OF CONTAINING ASBESTOS NOT IDENTIFIED BY THESE REPORTS, HE SHALL STOP WORK IN THE IMMEDIATE AREA AND NOTIFY THE OWNER (VDOT).

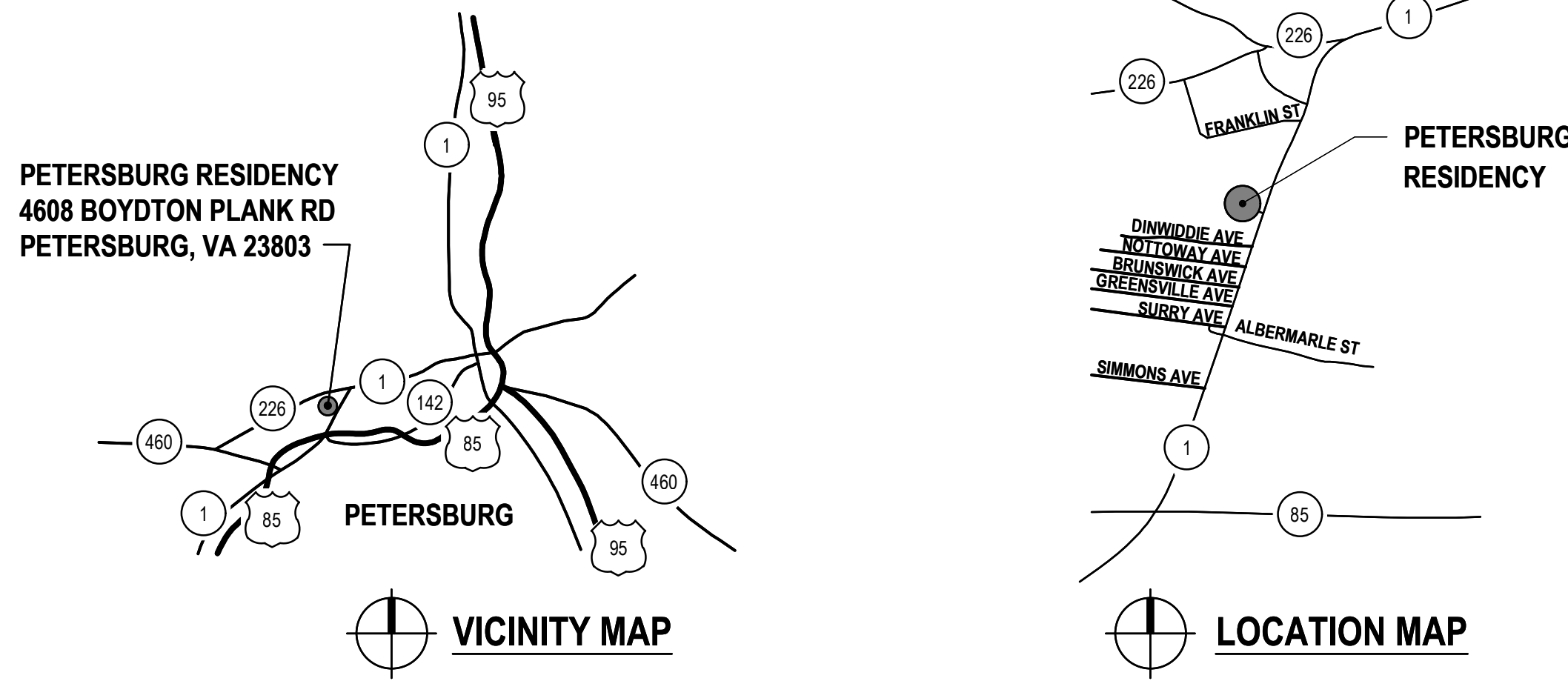
THE REMOVAL OF ASBESTOS MATERIALS IS NOT TO BE CONDUCTED WITHOUT THE OWNERS ASBESTOS PROJECT MONITOR BEING ON-SITE.

LEAD STATEMENT: BUILDING #4250004
AN INSPECTION TO IDENTIFY LEAD COATED BUILDING COMPONENTS HAS BEEN CONDUCTED AND CAN BE FOUND AS PART OF APPENDIX A TO THE PROJECT SPECIFICATIONS. THIS REPORT IS PROVIDED FOR THE CONTRACTOR'S USE AND MAY NOT BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL VIRGINIA OCCUPATIONAL SAFETY AND HEALTH (VOSH) REGULATIONS AS THEY PERTAIN TO EMPLOYEE EXPOSURES TO LEAD.

ALL LEAD AND LEAD COATED BUILDING COMPONENTS SHALL BE RECYCLED WHENEVER POSSIBLE.

GAUTHIER, ALVARADO & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF THE ASBESTOS AND LEAD INSPECTION REPORTS CONTAINED IN THE CONTRACT DOCUMENTS AS THIS INFORMATION WAS PREPARED BY VDOT. THE CONTRACTOR SHALL ADDRESS ANY RELATED QUESTIONS TO THE VDOT REPRESENTATIVE.

PETERSBURG RESIDENCY MAPS



INDEX OF DRAWINGS

- T001 COVER SHEET PART I
- T002 COVER SHEET PART II

ARCHITECTURAL

- A101 PETERSBURG RESIDENCY FIRST FLOOR PARTIAL DEMOLITION PLAN & PARTIAL REFLECTED CEILING DEMOLITION PLAN
- A102 PETERSBURG RESIDENCY BASEMENT PARTIAL DEMOLITION PLAN & PARTIAL FLOOR PLAN
- A103 PETERSBURG RESIDENCY FIRST FLOOR PARTIAL FLOOR PLAN & PARTIAL REFLECTED CEILING PLAN
- A104 PETERSBURG RESIDENCY DETAILS PARTIAL DEMOLITION PLAN
- A105 SOUTH HILL RESIDENCY FIRST FLOOR PARTIAL DEMOLITION PLAN & PARTIAL REFLECTED CEILING DEMOLITION PLAN
- A106 SOUTH HILL RESIDENCY BASEMENT PARTIAL DEMOLITION PLAN
- A107 SOUTH HILL RESIDENCY FIRST FLOOR PARTIAL FLOOR PLAN & PARTIAL REFLECTED CEILING PLAN
- A108 SOUTH HILL RESIDENCY DETAILS

PLUMBING

- P001 COVER SHEET
- P101 PETERSBURG - DEMOLITION & NEW WORK FLOOR PLAN
- P102 SOUTH HILL - DEMOLITION & NEW WORK FLOOR PLAN
- P301 PETERSBURG - RISER DIAGRAMS
- P302 SOUTH HILL - RISER DIAGRAMS

MECHANICAL

- M001 COVER SHEET
- M101 PETERSBURG - DEMOLITION & NEW WORK FLOOR PLAN
- M102 SOUTH HILL - DEMOLITION & NEW WORK FLOOR PLAN
- M601 SCHEDULES & DETAILS

SYMBOLS

LOBBY	ROOM DESIGNATION	BUILDING SECTION LETTER
101	ROOM NUMBER	A101/A301
1	KEY NOTE	SHEET WHERE CUT
1	REVISION NUMBER	SECTION NUMBER
A	COLUMN DESIGNATION	DETAIL NUMBER

MATERIALS

EARTH	METAL (LARGE SCALE)	INSULATION (BATT OR LOOSE)
GRAVEL	METAL (SMALL SCALE)	INSULATION (RIGID)
CONCRETE	PLYWOOD	GYPSUM BOARD, CEMENT, GROUT
BRICK	WOOD (FINISHED)	CERAMIC TILE, ACOUSTICAL TILE
CONCRETE MASONRY UNIT	WOOD (ROUGH)	

PETERSBURG RESIDENCY BUILDING DATA

EXISTING BUILDING INFORMATION

ORIGINAL BLDG CODE AND YEAR: UNKNOWN
YEAR BUILT: ADDITION BUILT IN 1979
TYPE OF CONSTRUCTION: V B
NUMBER OF STORIES: 1
HIGH RISE BUILDING: N
FIRST FLOOR AREA: 2,535 SF
BASEMENT FLOOR AREA: 2,320 SF
BUILDING TOTAL FLOOR AREA: 4,855 SF
FIRST FLOOR OCCUPANT LOAD: 34 OCCUPANTS
BASEMENT OCCUPANT LOAD: 58 OCCUPANTS
TOTAL BUILDING OCCUPANT LOAD: 92 OCCUPANTS

EXISTING FIRE PROTECTION SYSTEM

SPRINKLERS: NO
APPROVED CENTRAL STATION: NO
FIRE ALARM SYSTEM: NO
STANDPIPES: NO

EXISTING FIRE RATING REQUIREMENTS

STRUCTURAL FRAME: 0 HR
BEARING WALLS: 0 HR
N.L.B WALLS AND PARTITIONS: 0 HR
FLOOR CONSTRUCTION: 0 HR
ROOF CONSTRUCTION: 0 HR

APPLICABLE CODES

2018 VIRGINIA CONSTRUCTION CODE, VUSBC PART I & PART II
2018 VIRGINIA EXISTING BUILDING CODE, LEVEL 2 ALTERATIONS PER SECTIONS 601.2.2, 602 & 603
2018 VIRGINIA STATEWIDE FIRE PREVENTION CODE
2018 VIRGINIA ENERGY CONSERVATION CODE
2018 VIRGINIA PLUMBING CODE
2018 VIRGINIA MECHANICAL CODE
2017 NFPA 70 NATIONAL ELECTRIC CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, SEPTEMBER 15, 2010 CONSTRUCTION & PROFESSIONAL SERVICES MANUAL (CPSM 2022 REV 0)

PROPOSED AREA OF WORK

USE GROUP: B - BUSINESS
WATER GROUP OF BUILDING: B / A3 MIXED USE, NON-SEPARATED
TYPE OF CONSTRUCTION: V B
AREA OF RENOVATION: 260 GSF
FLOOR NUMBER: 1
TENANT INFORMATION: VDOT
EXISTING BUILDING OCCUPANT LOAD TABULATION:

EXISTING - UNCHANGED	
BUSINESS (1:100)	FIRST FLOOR 2,142 SF/100 =22
	BASEMENT 816 SF/100 = 9
	TOTAL = 93 W, 73 M (1 TOILET PER SEX) =31
ASSEMBLY (1:15)	FIRST FLOOR 163 SF/15 =11
	BASEMENT 683 SF/15 =46
	TOTAL =57
STORAGE (1:300)	FIRST FLOOR 230 SF/300 = 1
	BASEMENT 821 SF/300 = 3
	TOTAL = 4
	BUILDING TOTAL =92

PROPOSED AREA OF WORK (CONTINUED)

THERE IS NO CHANGE TO THE EXISTING USE, OCCUPANCY CLASSIFICATION, OCCUPANT LOAD OR EGRESS RELATED TO THIS RESTROOM RENOVATION PROJECT.

TOILET CALCULATIONS PER 2018 VCC

ON 7-14-2022, DEB APPROVED A WAIVER REQUEST TO RECALCULATE THE OCCUPANT LOAD FOR THE PURPOSE OF RECALCULATING THE REQUIRED NUMBER OF PLUMBING FIXTURES IN THE PETERSBURG RESIDENCY OFFICE BUILDING. THE APPROVED WAIVER WILL ALLOW THE RESTROOMS TO BE MADE ADA COMPLIANT AND INCLUDE THE INSTALLATION OF REQUIRED BABY CHANGING STATIONS IN THE EXISTING RESTROOMS.

ASSEMBLY: 57 OCCUPANTS (846 SF / 15)
BUSINESS: 20 OCCUPANTS (2,358 SF / 150)
STORAGE: 4 OCCUPANTS (1,051 SF / 300)
TOTAL OCCUPANTS: 81 OCCUPANTS (24 "B" USE / 57 "A" USE)

TOILETS: "B" USE = 24 / 25 = 1 TOILET (.50 PER SEX)
"A" USE = 28 / 65 W + 29 / 125 M = .43 W + .23 M
TOTAL = .93 W, .73 M (1 TOILET PER SEX)
LAVATORIES: "B" USE = 24 / 40 = 0.6 LAVS (0.3 PER SEX)
"A" USE = 57 / 200 = 0.3 LAVS (0.15 PER SEX)
TOTAL = 0.3 + 0.15 = 0.45 LAV PER SEX (1 LAV PER SEX)
TOTAL BUILDING: 2 TOILETS (1 PER SEX)
2 LAVATORIES (1 PER SEX)

DESCRIPTION OF WORK

RESTROOM RENOVATIONS TO PROVIDE ADA COMPLIANCE AND BABY CHANGING STATIONS WITH ASSOCIATED FINISH, HVAC AND ELECTRICAL WORK.
HIGH PERFORMANCE BUILDING ACT
IN ACCORDANCE WITH THE HIGH PERFORMANCE BUILDING ACT, THE BUILDING IS EXEMPT FROM COMPLIANCE BECAUSE THE COST OF THE RENOVATIONS DOES NOT EXCEED 50% OF THE VALUE OF THE BUILDING.
VIRGINIA ENERGY CONSERVATION CODE
IN ACCORDANCE WITH THE VIRGINIA ENERGY CONSERVATION CODE (VECC), THE BUILDING SHALL COMPLY WITH VECC SECTIONS C402 THROUGH C405 AND C408.

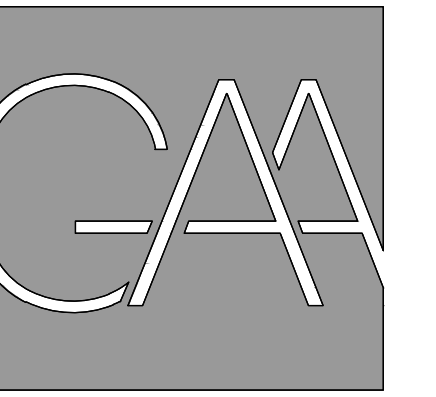
REVISIONS

NO.	DATE	DESCRIPTION

DRAWING NUMBER

T001

IFB # 157384



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ASSOCIATES

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STATEMENTS

ASBESTOS STATEMENT: BUILDING #4230004

(NO ASBESTOS PRESENT) AN INSPECTION TO IDENTIFY ASBESTOS-CONTAINING MATERIALS HAS BEEN CONDUCTED AND CAN BE FOUND AS PART OF "APPENDIX A" TO THE PROJECT SPECIFICATIONS. NO MATERIALS CONTAINING ASBESTOS WERE IDENTIFIED BY THE REPORT FOR THE BUILDING. SHOULD THE CONTRACTOR ACCESS ANY MATERIAL SUSPECTED OF CONTAINING ASBESTOS NOT IDENTIFIED BY THESE REPORTS, HE SHALL STOP WORK IN THE IMMEDIATE AREA AND NOTIFY THE OWNER (VDOT).

THE REMOVAL OF ASBESTOS MATERIALS IS NOT TO BE CONDUCTED WITHOUT THE OWNERS ASBESTOS PROJECT MONITOR BEING ON-SITE.

LEAD STATEMENT: BUILDING #4230004

AN INSPECTION TO IDENTIFY LEAD COATED BUILDING COMPONENTS HAS BEEN CONDUCTED AND CAN BE FOUND AS PART OF "APPENDIX A" TO THE PROJECT SPECIFICATIONS. THIS REPORT IS PROVIDED FOR THE CONTRACTOR'S USE AND MAY NOT BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL VIRGINIA OCCUPATIONAL SAFETY AND HEALTH (VOSH) REGULATIONS AS THEY PERTAIN TO EMPLOYEE EXPOSURE TO LEAD.

ALL LEAD AND LEAD COATED BUILDING COMPONENTS SHALL BE RECYCLED TO THE EXTENT POSSIBLE.

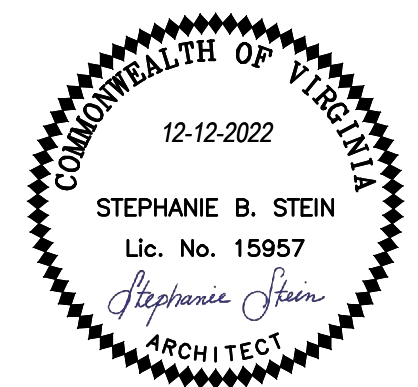
GAUTHIER, ALVARADO & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OR ACCURACY OF THE ASBESTOS AND LEAD INSPECTION REPORTS CONTAINED IN THE CONTRACT DOCUMENTS AS THIS INFORMATION WAS PREPARED BY VDOT. THE CONTRACTOR SHALL ADDRESS ANY RELATED QUESTIONS TO THE VDOT REPRESENTATIVE.

PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

PETERSBURG & SOUTH HILL RESIDENCY RESTROOM RENOVATIONS



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1

DRAWN BY SS

CHECKED BY JH

DATE 12-12-2022

DRAWING TITLE

COVER SHEET 2

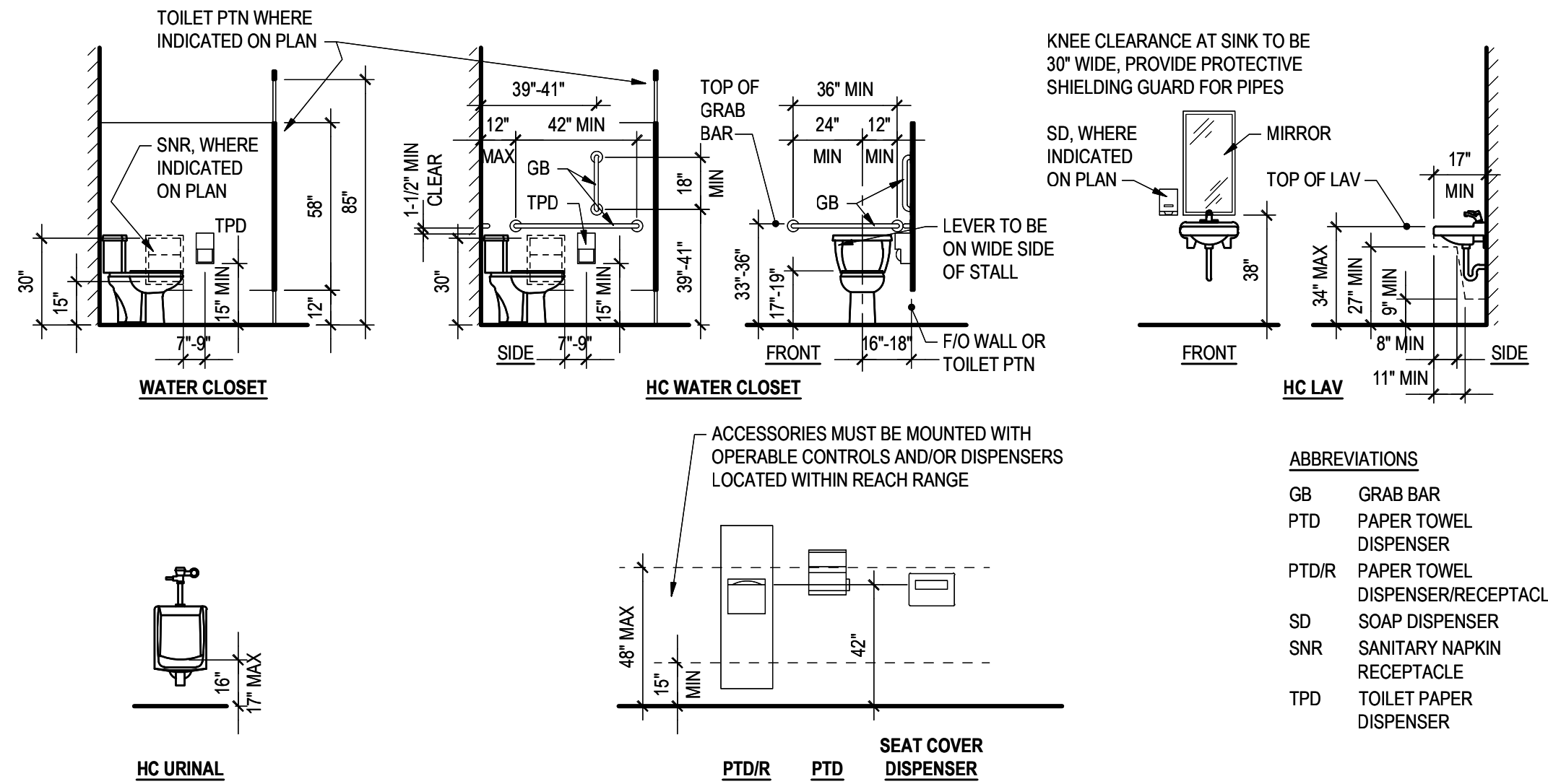
PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

T002

IFB # 157389



ABBREVIATIONS

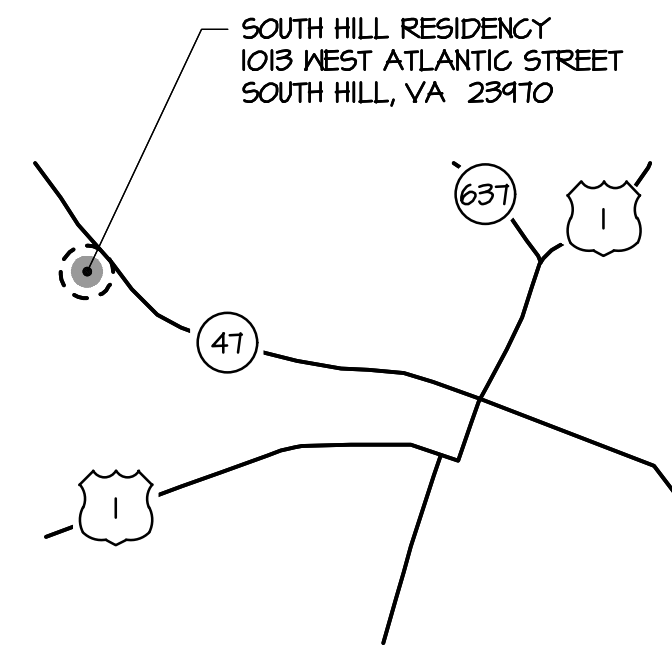
GB	GRAB BAR
PTD	PAPER TOWEL DISPENSER
PTD/R	PAPER TOWEL DISPENSER/RECEPTACLE
SD	SOAP DISPENSER
SNR	SANITARY NAPKIN RECEPTACLE
TPD	TOILET PAPER DISPENSER

TYPICAL TOILET ROOM MOUNTING HEIGHTS

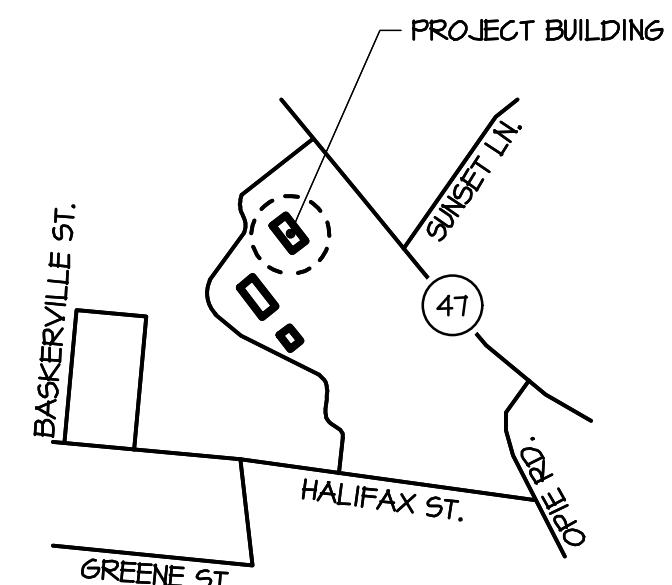
1/4" = 1'-0"

AD10.02

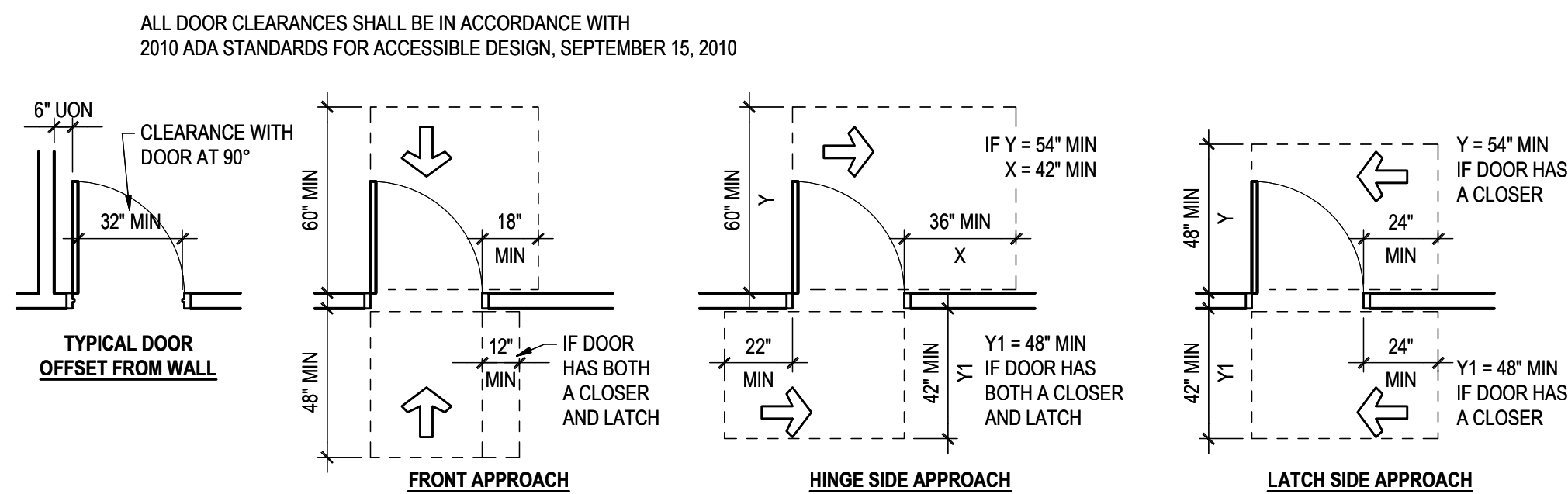
SOUTH HILL RESIDENCY MAPS



VICINITY MAP



LOCATION MAP



TYPICAL DOOR CLEARANCES

1/4" = 1'-0"

AD08-01

SOUTH HILL RESIDENCY BUILDING DATA

EXISTING BUILDING INFORMATION

ORIGINAL BLDG CODE AND YEAR: VUSBC, BOCA NBC 1984
YEAR BUILT: 1988
USE GROUP OF BUILDING: B / A-3 MIXED USE, NON-SEPARATED
TYPE OF CONSTRUCTION: 3A
NUMBER OF STORIES: 2
HIGH RISE BUILDING: NO
FIRST FLOOR AREA: 3,686 SF
BASEMENT FLOOR AREA: 3,698 SF
TOTAL BUILDING FLOOR AREA: 7,384 SF
FIRST FLOOR OCCUPANT LOAD: 48 OCCUPANTS
BASEMENT OCCUPANT LOAD: 115 OCCUPANTS
TOTAL BUILDING OCCUPANT LOAD: 163 OCCUPANTS

EXISTING FIRE PROTECTION SYSTEM

SPRINKLERS: NO
APPROVED CENTRAL STATION: NO
FIRE ALARM SYSTEM: NO
STANDPIPES: NO

EXISTING FIRE RATING REQUIREMENTS

STRUCTURAL FRAME:	1 HR
EXTERIOR BEARING WALLS:	2 HR
INTERIOR BEARING WALLS:	1 HR
NLB WALLS AND PARTITIONS:	0 HR
FLOOR CONSTRUCTION:	1 HR EXIST' UL DESIGN
ROOF CONSTRUCTION:	1 HR

APPLICABLE CODES

2018 VIRGINIA CONSTRUCTION CODE, VUSBC PART I & PART II
2018 VIRGINIA EXISTING BUILDING CODE, LEVEL 2 ALTERATIONS PER SECTIONS 601.2.2, 602 & 603
2018 VIRGINIA STATEWIDE FIRE PREVENTION CODE
2018 VIRGINIA ENERGY CONSERVATION CODE
2018 VIRGINIA PLUMBING CODE
2018 VIRGINIA MECHANICAL CODE
2017 NFPA 70 NATIONAL ELECTRIC CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, SEPTEMBER 15, 2010
CONSTRUCTION & PROFESSIONAL SERVICES MANUAL (CPSM 2022, REV 0)

PROPOSED AREA OF WORK

USE GROUP: B - BUSINESS
USE GROUP OF BUILDING: B / A-3 MIXED USE, NON-SEPARATED
TYPE OF CONSTRUCTION: IIIA
AREA OF RENOVATION: 262 GSF
FLOOR NUMBER: 1
TENANT INFORMATION: VDOT
EXISTING BUILDING OCCUPANT TABULATION:

BUSINESS (1-100)	EXISTING - UNCHANGED	
FIRST FLOOR	3,491 SF/100 = 35	
BASEMENT	1,708 SF/100 = 18	
TOTAL	= 53	
ASSEMBLY (1-15)	FIRST FLOOR	195 SF/15 = 13
BASEMENT	1,420 SF/15 = 95	
TOTAL	= 108	
STORAGE (1-300)	BASEMENT	570 SF/300 = 2
TOTAL	= 163	

DESCRIPTION OF WORK

RESTROOM RENOVATIONS TO PROVIDE ADA COMPLIANCE AND BABY CHANGING STATIONS WITH ASSOCIATED FINISH, HVAC AND ELECTRICAL WORK.
HIGH PERFORMANCE BUILDING ACT
IN ACCORDANCE WITH THE HIGH PERFORMANCE BUILDING ACT, THE BUILDING IS EXEMPT FROM COMPLIANCE BECAUSE THE COST OF THE RENOVATIONS DOES NOT EXCEED 50% OF THE VALUE OF THE BUILDING.

VIRGINIA ENERGY CONSERVATION CODE
IN ACCORDANCE WITH THE VIRGINIA ENERGY CONSERVATION CODE (VECC), THE BUILDING SHALL COMPLY WITH VECC SECTIONS C402 THROUGH C405 AND C408.

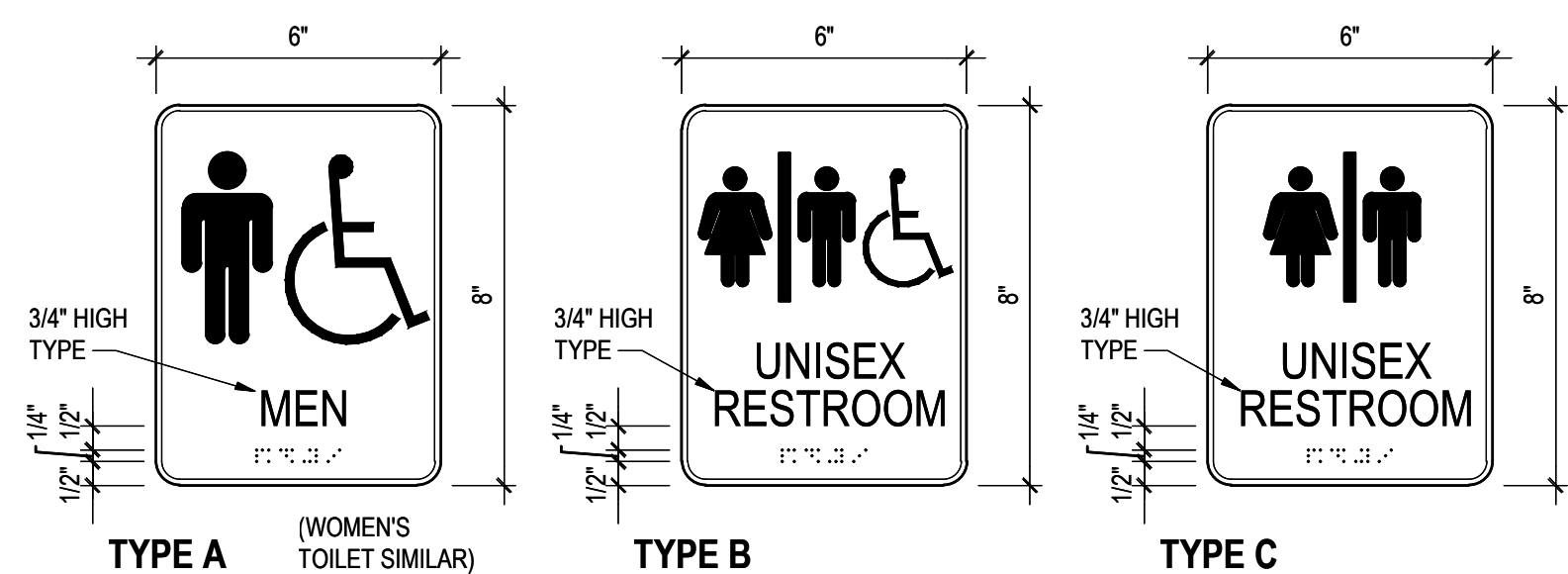
TOILET & LAVATORY CALCULATIONS PER 2018 VCC

ON 7-14-2022, DEB APPROVED A WAIVER REQUEST TO RECALCULATE THE OCCUPANT LOAD FOR THE PURPOSE OF RECALCULATING THE REQUIRED NUMBER OF PLUMBING FIXTURES IN THE SOUTH HILL RESIDENCY OFFICE BUILDING. THE APPROVED WAIVER WILL ALLOW THE RESTROOMS TO BE MADE ADA COMPLIANT AND INCLUDE THE INSTALLATION OF REQUIRED BABY CHANGING STATIONS IN THE EXISTING RESTROOMS.

ASSEMBLY: 108 OCCUPANTS (1.615 SF / 15)
BUSINESS: 35 OCCUPANTS (5.199 SF / 150)
STORAGE: 2 OCCUPANTS (570 SF / 300)
TOTAL OCCUPANTS: 145 OCCUPANTS (37 "B" USE / 108 "A" USE)

TOILETS: "B" USE = 37 / 25 = 1.48 TOILETS (0.74 PER SEX)
"A" USE = 54 / 65 W + 54 / 125 M = .83 W + .43 M
TOTAL = 1.57 W, 1.17 M (2 TOILETS PER SEX)
LAVATORIES: "B" USE = 37 / 40 = 0.9 LAVS (0.45 PER SEX)
"A" USE = 108 / 200 = 0.5 LAVS (0.25 PER SEX)
TOTAL = 0.45 + 0.25 = 0.7 LAV PER SEX (1 LAV PER SEX)

TOTAL BUILDING: 4 TOILETS (2 FOR WOMEN & 2 FOR MEN)
2 LAVATORIES (1 PER SEX)

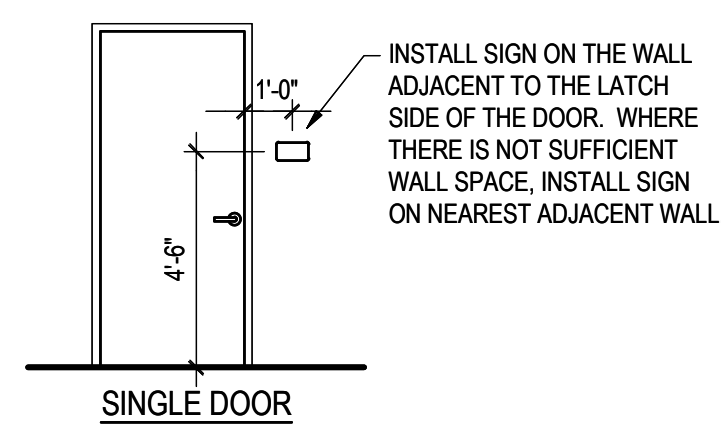


SIGN DETAILS

3" = 1'-0"

NOTES:

- MOUNT SIGNS AT 54" AFF TO CENTER.
- PROVIDE SIGNAGE LETTERING AND BRAILLE IN ACCORDANCE WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, SEPTEMBER 15, 2010





GAUTHIER
ALVARADO
ASSOCIATES

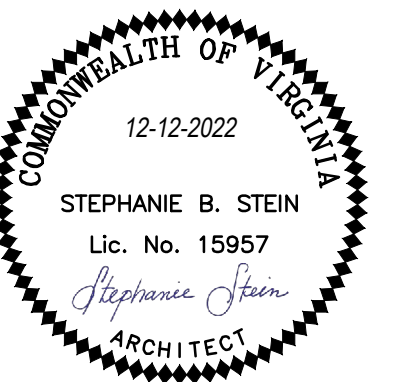
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PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1

DRAWN BY SS

CHECKED BY JH

DATE 12-12-2022

DRAWING TITLE

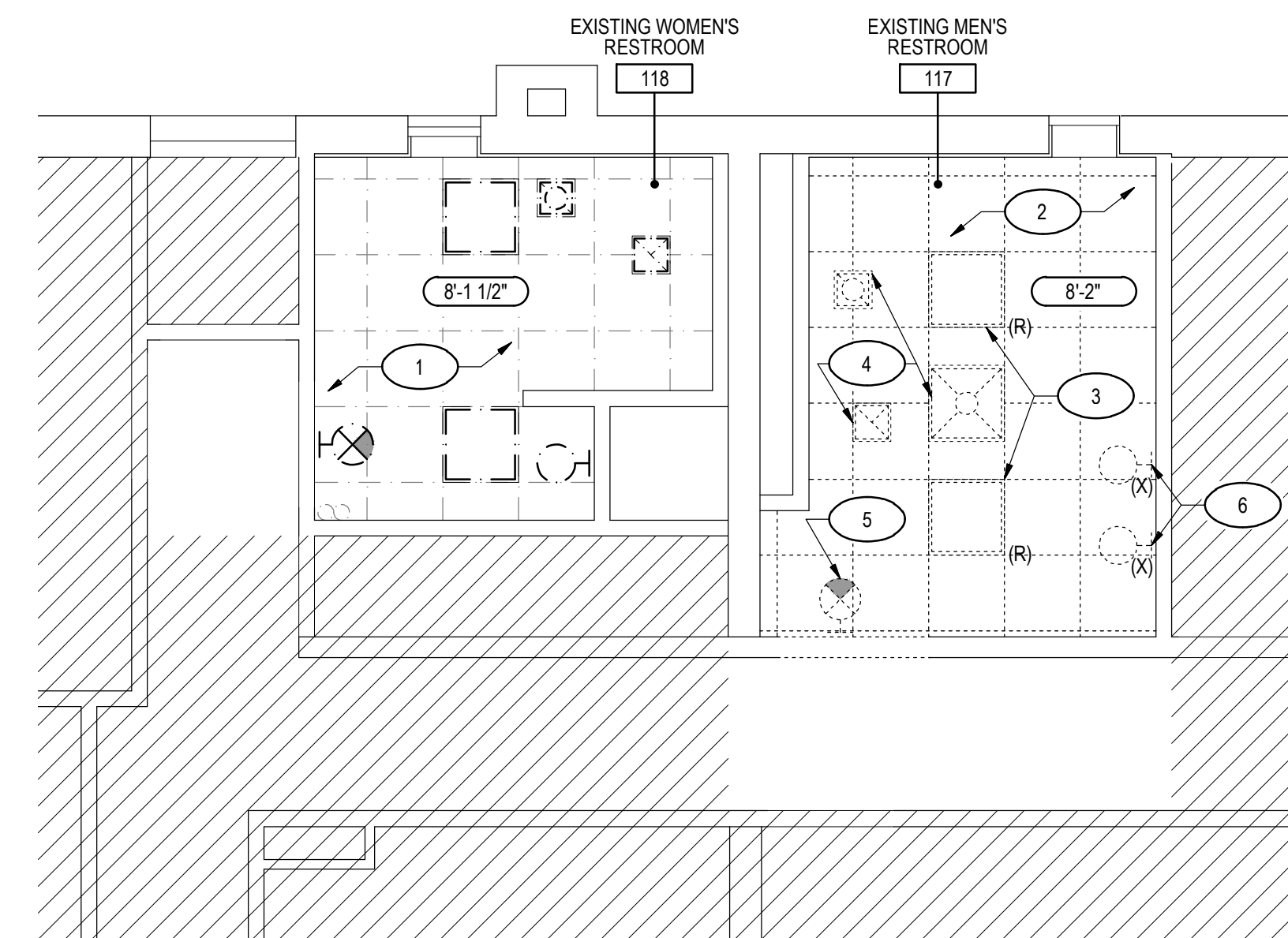
ARCHITECTURAL
PETERSBURG RESIDENCY
FIRST FLOOR PARTIAL
DEMOLITION PLAN & PARTIAL
REFLECTED CEILING
DEMOLITION PLAN
PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

A101

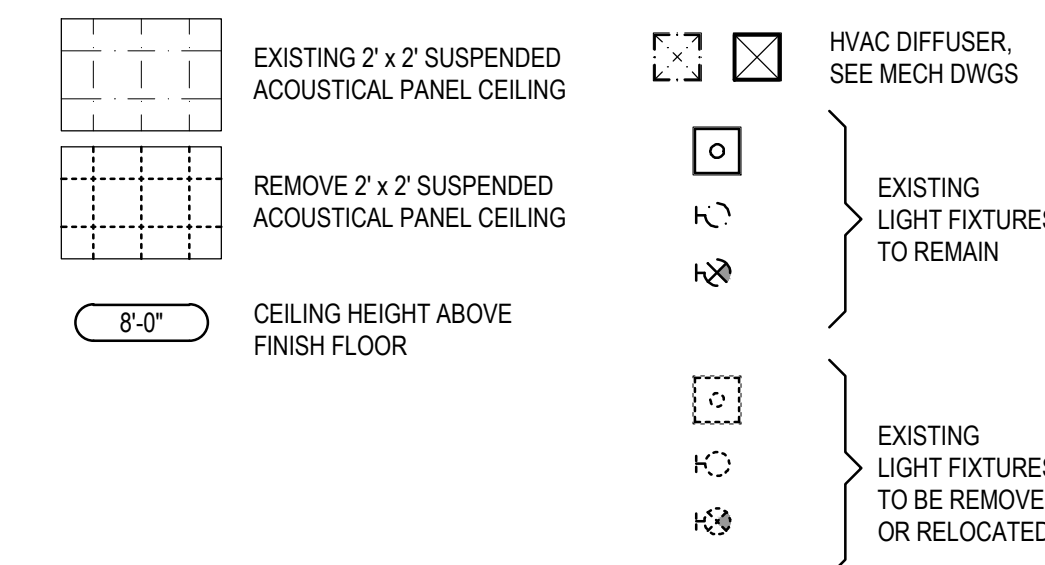
IFB # 157389



**PETERSBURG RESIDENCY FIRST FLOOR
PARTIAL REFLECTED CEILING DEMOLITION PLAN**

1/4" = 1'-0"

CEILING DEMOLITION PLAN LEGEND:

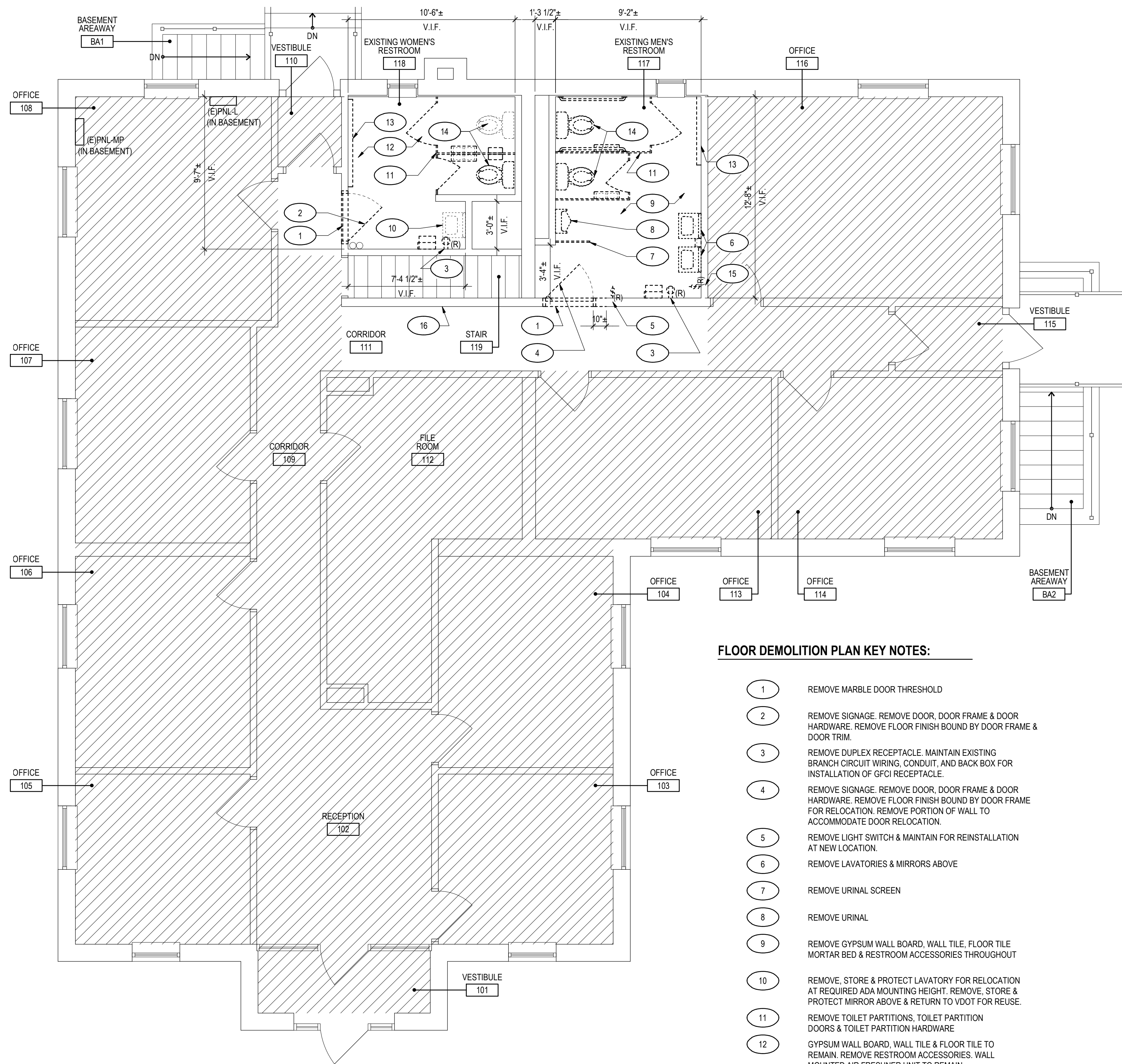


CEILING DEMOLITION PLAN KEY NOTES:

- 1 EXISTING CEILING GRID, CEILING TILES, LIGHT FIXTURES, EXHAUST FAN, HVAC DIFFUSER, WALL MOUNTED EXIT SIGN & ASSOCIATED ACCESSORIES TO REMAIN THROUGHOUT
- 2 REMOVE CEILING GRID, CEILING TILES & ASSOCIATED ACCESSORIES THROUGHOUT
- 3 REMOVE LIGHT FIXTURES & MAINTAIN FOR REINSTALLATION.
- 4 REMOVE HVAC DIFFUSERS & EXHAUST FAN
- 5 REMOVE EXISTING EXIT SIGN & MAINTAIN FOR REINSTALLATION. MAINTAIN EXISTING BRANCH CIRCUIT WIRING & CONDUIT.
- 6 REMOVE LIGHT FIXTURES. MAINTAIN EXISTING BRANCH CIRCUIT WIRING & CONDUIT FOR NEW FIXTURES.

GENERAL DEMOLITION NOTES

1. THIS PLAN IS NOT A COMPLETE REPRESENTATION OF ALL THE EXISTING CONDITIONS. THIS PLAN IS SCHEMATIC IN NATURE AND INTENDS TO SHOW THE GENERAL EXTENT AND LAYOUT OF THE EXISTING FACILITY.
2. REMOVE EXISTING CONSTRUCTION CLEANLY AND LEAVE EXISTING CONSTRUCTION TO REMAIN READY TO RECEIVE NEW WORK.
3. REMOVE EXISTING CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING, ELECTRICAL WORK ETC., AS NECESSARY AND WHEREEVER NECESSARY TO PROVIDE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
4. REMOVE EXISTING FLOOR FINISHES AND/OR PREPARE FLOORS TO BE LEVEL AND READY FOR REPLACEMENT WITH NEW FINISH AS SCHEDULED OR WITH NEW MATERIAL NOTED.
5. EXISTING WOMEN'S RESTROOM: WHERE EXISTING CERAMIC WALL TILE AND/OR BASE ARE REMOVED, THESE SHALL BE CAREFULLY REMOVED, CLEANED AND SALVAGED FOR RE-USE IN OTHER AREAS THAT REQUIRE MATCHING CERAMIC TILE WALL AND BASE FINISH AS NEW CONSTRUCTION.
6. REMOVE MISCELLANEOUS METALS, HOOKS, NAILS, ETC., FROM WALLS AND FLOORS.
7. REMOVE EXISTING CABINETS, COAT HOOKS, PLUMBING, MECHANICAL, ELECTRICAL WORK, ETC. AS REQUIRED, SALVAGE ITEMS AS INDICATED AND/OR DIRECTED BY OWNER.
8. AS DIRECTED BY THE OWNER REMOVE, BOX, LABEL, AND DELIVER TO OWNER, MISCELLANEOUS ITEMS OR EQUIPMENT DESIGNATED FOR REMOVAL OR LOCATED ON SURFACES WHICH ARE NECESSARY TO BE REMOVED, UNLESS INDICATED FOR RELOCATION.
9. REMOVE EXISTING TOILET PARTITIONS, TOILET ACCESSORIES AND PLUMBING FIXTURES WHERE INDICATED, INCLUDING RELATED PIPING AS REQUIRED. SALVAGE EXISTING CERAMIC TILE WHEREVER POSSIBLE TO PATCH EXISTING WALLS IN THE EXISTING WOMEN'S RESTROOM.
10. EXISTING MEN'S RESTROOM: REMOVE EXISTING CEILING AND ALL RELATED ACCESSORIES IN THEIR ENTIRETY WHERE INDICATED.



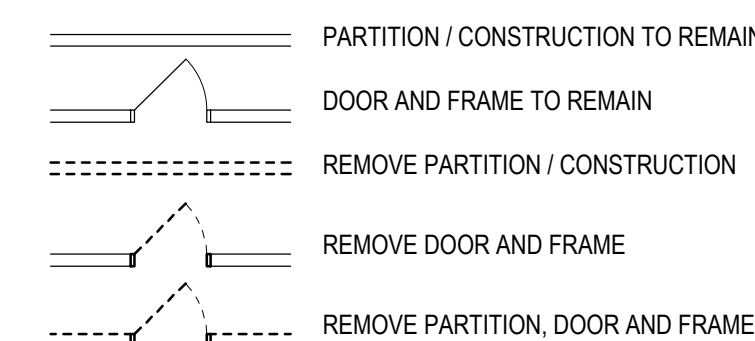
FLOOR DEMOLITION PLAN KEY NOTES:

- 1 REMOVE MARBLE DOOR THRESHOLD
- 2 REMOVE SIGNAGE, REMOVE DOOR, DOOR FRAME & DOOR HARDWARE. REMOVE FLOOR FINISH BOUND BY DOOR FRAME & DOOR TRIM.
- 3 REMOVE DUPLEX RECEPTACLE. MAINTAIN EXISTING BRANCH CIRCUIT WIRING, CONDUIT, AND BACK BOX FOR INSTALLATION OF GFCI RECEPTACLE.
- 4 REMOVE SIGNAGE, REMOVE DOOR, DOOR FRAME & DOOR HARDWARE. REMOVE FLOOR FINISH BOUND BY DOOR FRAME FOR RELOCATION. REMOVE PORTION OF WALL TO ACCOMMODATE DOOR RELOCATION.
- 5 REMOVE LIGHT SWITCH & MAINTAIN FOR REINSTALLATION AT NEW LOCATION.
- 6 REMOVE LAVATORIES & MIRRORS ABOVE
- 7 REMOVE URINAL SCREEN
- 8 REMOVE URINAL
- 9 REMOVE GYPSUM WALL BOARD, WALL TILE, FLOOR TILE MORTAR BED & RESTROOM ACCESSORIES THROUGHOUT
- 10 REMOVE, STORE & PROTECT LAVATORY FOR RELOCATION AT REQUIRED ADA MOUNTING HEIGHT. REMOVE, STORE & PROTECT MIRROR ABOVE & RETURN TO VDOT FOR REUSE.
- 11 REMOVE TOILET PARTITIONS, TOILET PARTITION DOORS & TOILET PARTITION HARDWARE
- 12 GYPSUM WALL BOARD, WALL TILE & FLOOR TILE TO REMAIN. REMOVE RESTROOM ACCESSORIES. WALL MOUNTED AIR FRESHNER UNIT TO REMAIN.
- 13 REMOVE BASEBOARD RADIATOR UNIT. PARTIALLY DEMO FLOOR IN PREPARATION FOR INSTALL OF NEW BASEBOARD RADIATOR UNIT.
- 14 REMOVE TOILETS. PROTECT & STORE ONE TOILET IN WOMEN'S RESTROOM FOR RELOCATION. PARTIALLY DEMO FLOOR IN PREPARATION FOR INSTALL OF NEW TOILETS.
- 15 REMOVE, STORE & PROTECT SWITCH FOR RELOCATION
- 16 REMOVE VINYL WALL COVERING ABOVE WAINSCOTING FROM EDGE OF PARTIAL WALL DEMOLITION TO CORNER.

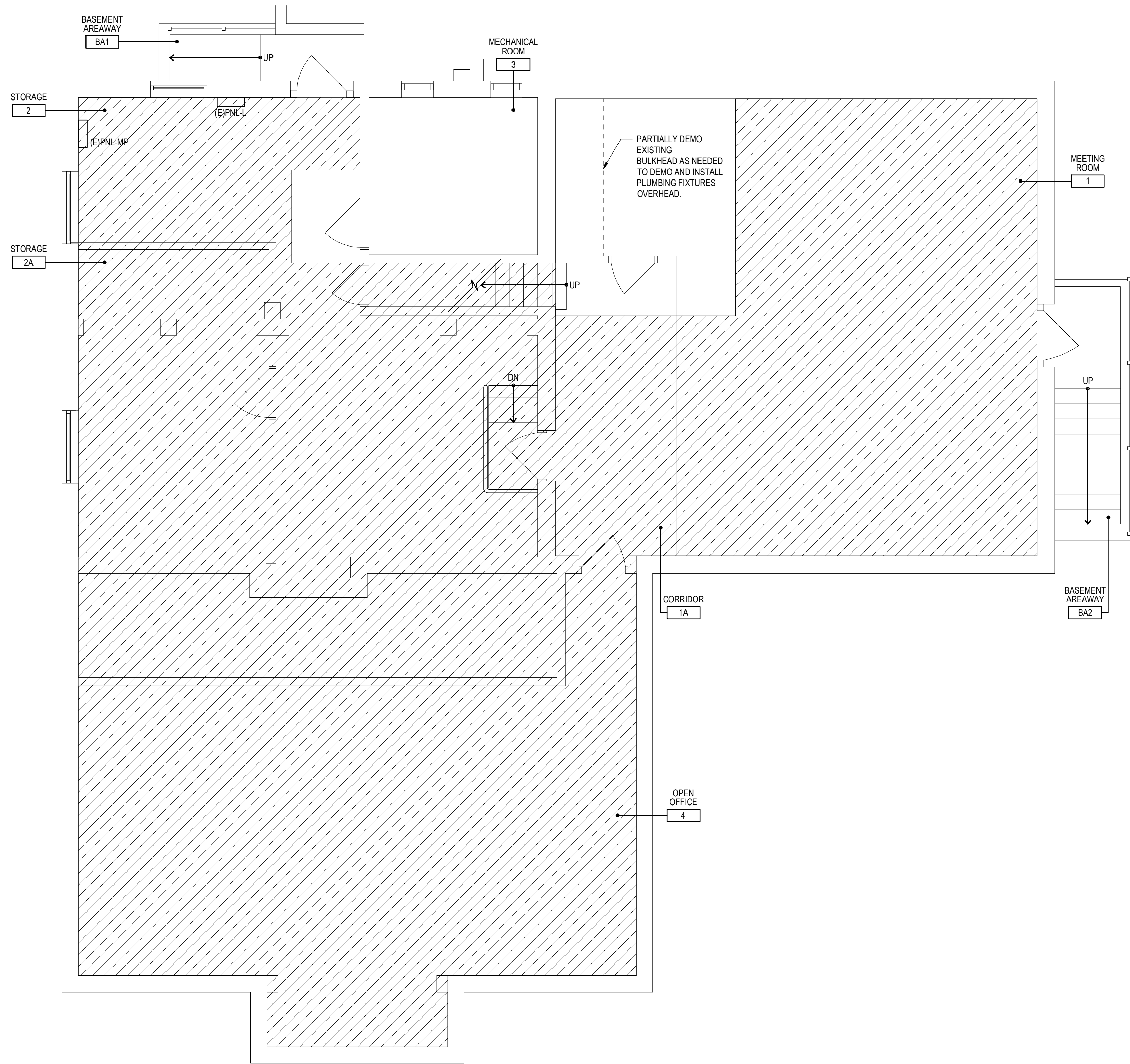
**PETERSBURG RESIDENCY FIRST FLOOR
PARTIAL DEMOLITION PLAN**

1/4" = 1'-0"

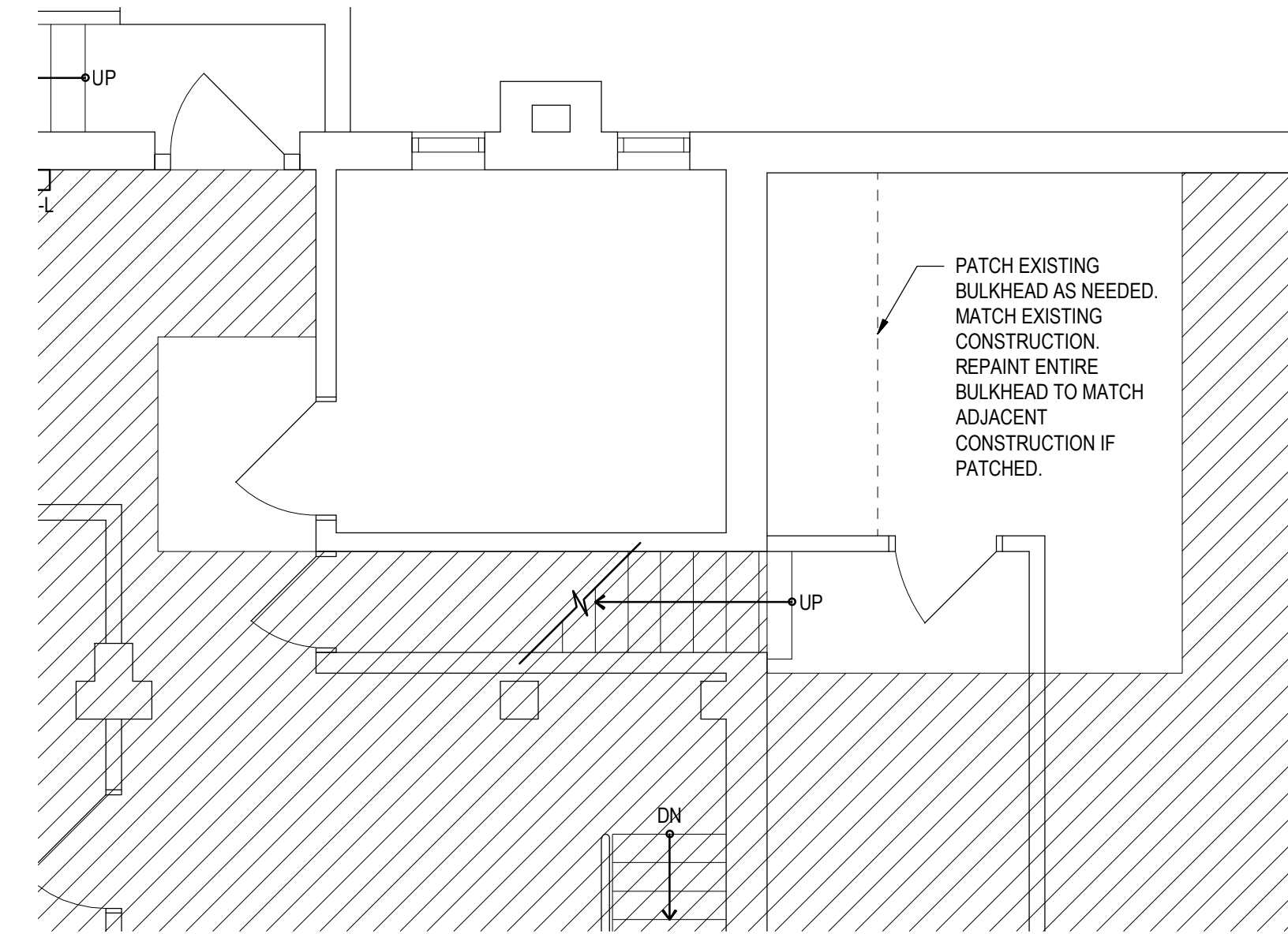
FLOOR DEMOLITION PLAN LEGEND:



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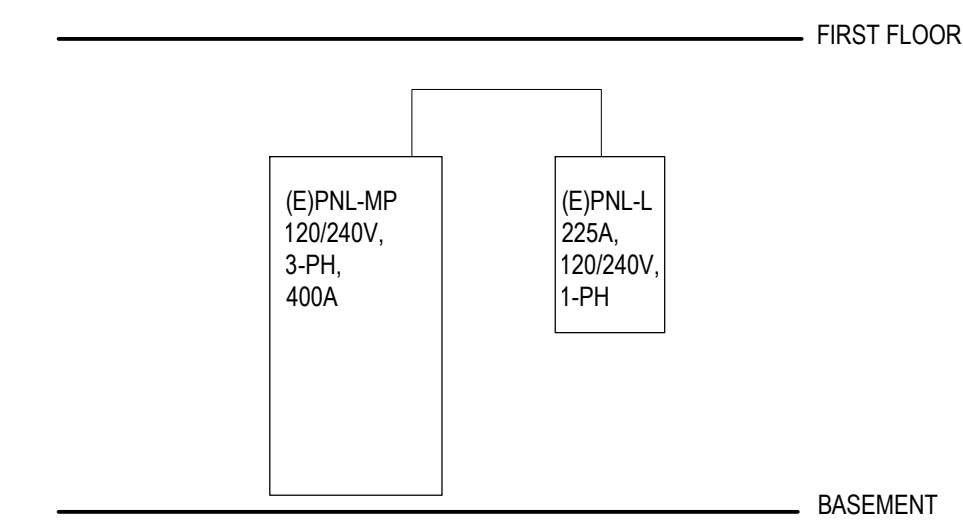


**PETERSBURG RESIDENCY BASEMENT
PARTIAL DEMOLITION PLAN**
1/4" = 1'-0"



**PETERSBURG RESIDENCY BASEMENT
PARTIAL FLOOR PLAN**

1/4" = 1'-0"



EXISTING POWER RISER DIAGRAM

NOT TO SCALE



GAUTHIER
ALVARADO
ASSOCIATES

703-241-2202
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PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



REVISIONS

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GAA PROJECT NO. 768-E1

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CHECKED BY JH

DATE 12-12-2022

DRAWING TITLE

**ARCHITECTURAL
PETERSBURG RESIDENCY
BASEMENT PARTIAL
DEMOLITION PLAN & PARTIAL
FLOOR PLAN**

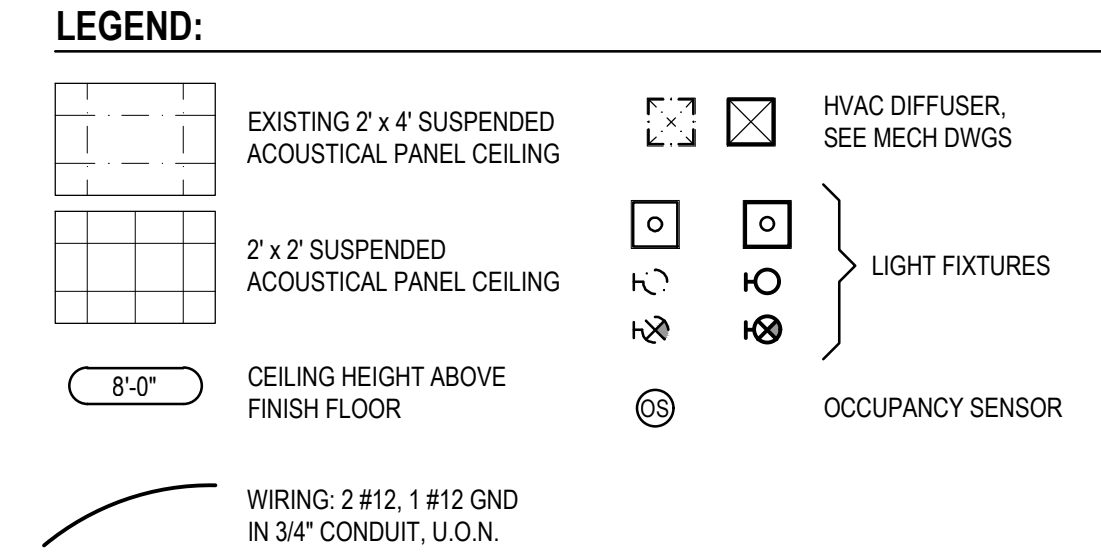
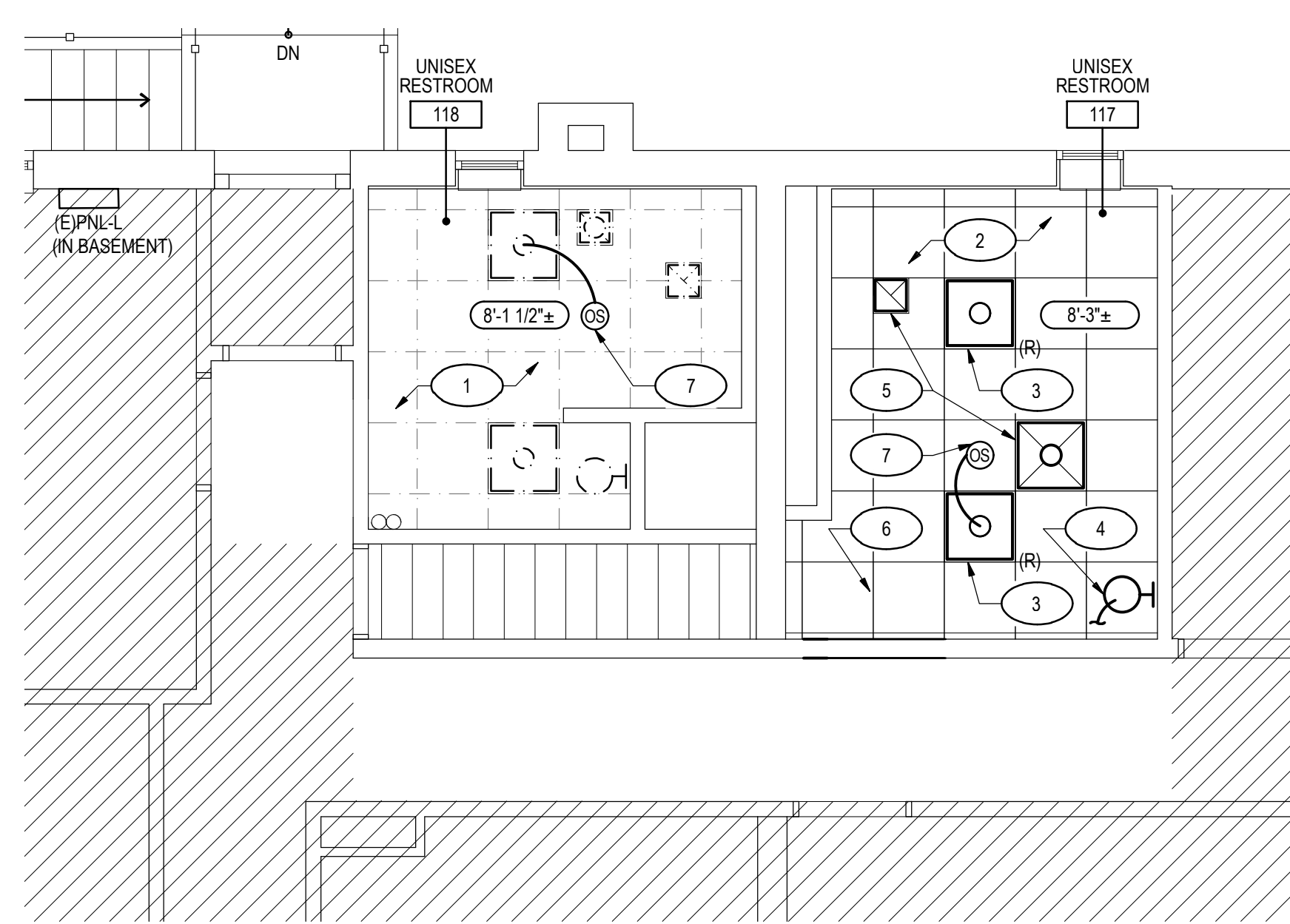
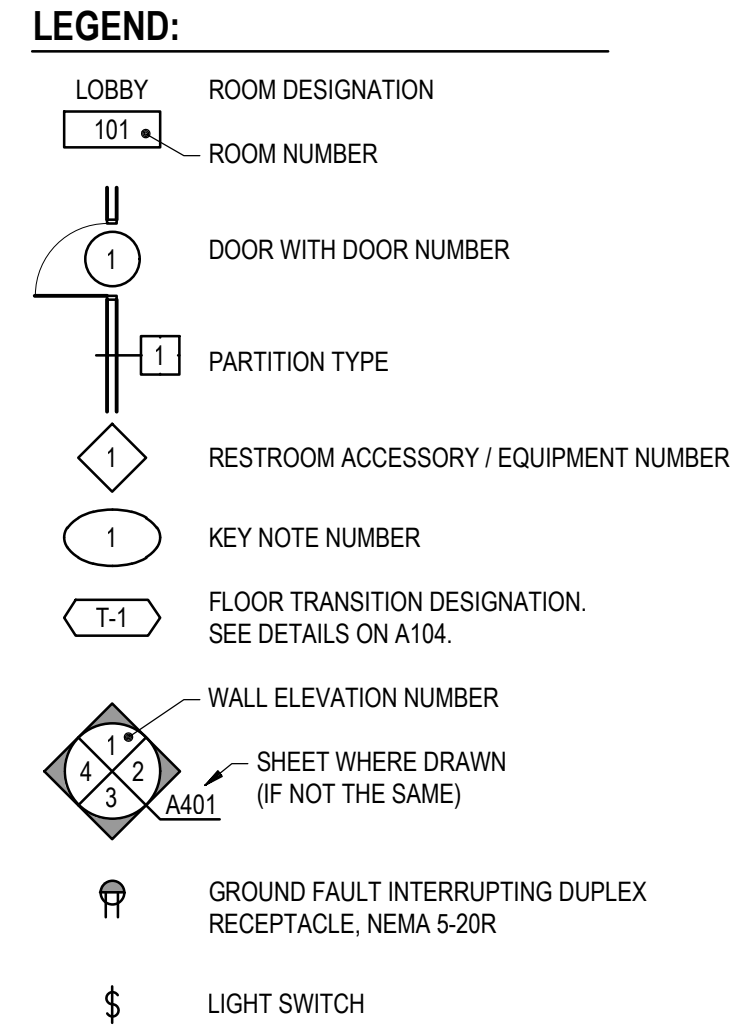
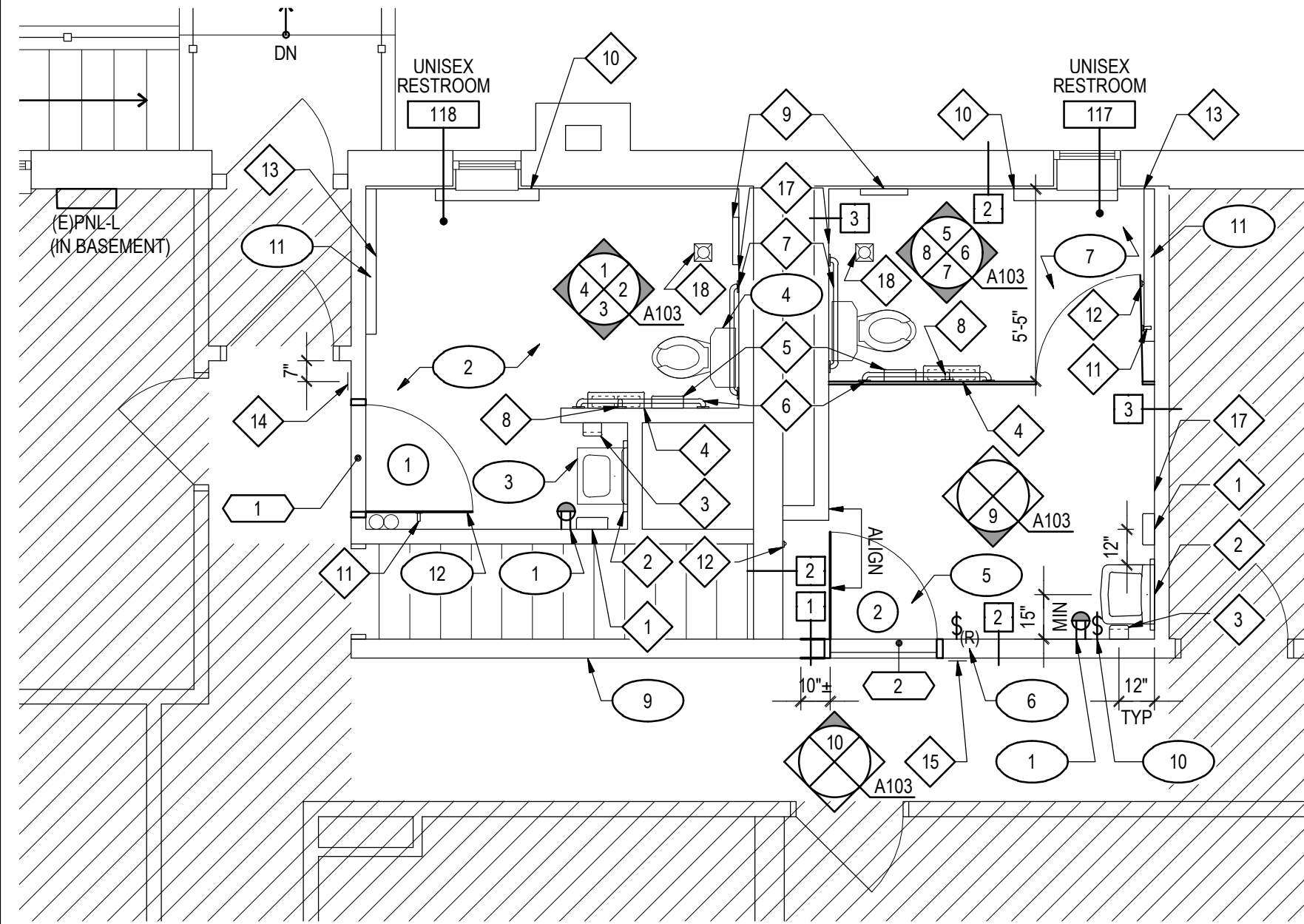
PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

A102

IFB # 157389



CEILING PLAN KEY NOTES:

- 1. EXISTING CEILING GRID, CEILING PANELS, LIGHT FIXTURES, EXHAUST FAN, HVAC DIFFUSER, WALL MOUNTED EXIT SIGN & ASSOCIATED ACCESSORIES TO REMAIN THROUGHOUT
- 2. PROVIDE CEILING GRID, CEILING PANELS & ASSOCIATED ACCESSORIES THROUGHOUT IN SAME LOCATION AS REMOVED CEILING GRID
- 3. REINSTALL EXISTING 2'x2' LIGHT FIXTURES. CONNECT TO EXISTING BRANCH CIRCUIT WIRING AND CONDUIT.
- 4. WALL MOUNTED LIGHT FIXTURE. CIRCUIT TO NEAREST 120V BRANCH CIRCUIT WIRING & CONNECT TO EXISTING SWITCH FOR CONTROL. BASIS OF DESIGN: LITHONIA FMVCSL-24IN-MVOLT-30K-90CRI-BN. ALTERNATE FIXTURE 1: LITECONTROL 67L-W-D. ALTERNATE FIXTURE 2: WAC LIGHTING WS-77624.
- 5. HVAC DIFFUSER & EXHAUST FAN
- 6. REINSTALL EXISTING WALL MOUNTED EXIT SIGN, CENTERED ABOVE RELOCATED DOOR & DOOR FRAME
- 7. PROVIDE CEILING MOUNTED OCCUPANCY SENSOR. BASIS OF DESIGN: LUTRON LOS-CDT-2000-WH WITH POWER PACK AS NEEDED TO OPERATE. CIRCUIT TO EXISTING FIXTURES FOR CONTROL. ALTERNATES: LEGRAND LMDC-100, SENSORSWITCH CMR-PDT-9

PETERSBURG RESIDENCY FIRST FLOOR PARTIAL FLOOR PLAN

1/4" = 1'-0"

GENERAL PLAN NOTES

- SEE DRAWING A104 FOR PARTITION TYPES.
- SEE DETAIL 10/A104 FOR THROUGH-PENETRATION FIRESTOP DETAIL AT FLOOR.

DOOR FRAME DETAIL NOTES

- COORDINATE FRAME SIZE WITH WALL / PARTITION THICKNESS.
- PROVIDE A MINIMUM OF 3 ANCHORS PER JAMB.
- APPLY SEALANT AROUND THE ENTIRE FRAME PERIMETER OF INTERIOR FRAME ON BOTH SIDES OF THE WALL. SEALANT APPLICATION AT INTERIOR FRAME SHOULD CLOSE THE GAP BETWEEN THE WALL SURFACE AND THE FRAME AND SHOULD NOT CREATE A COVE AT THIS JUNCTURE.

PARTITION NOTES

- PROVIDE TILE BACKER GYP BD AT ALL LOCATIONS WHERE CERAMIC WALL TILE OCCURS.
- PROVIDE MOISTURE RESISTANT GYP BD AT ALL LOCATIONS WHERE WATER OR WASTE LINES OCCUR.
- PROVIDE FIRE RETARDANT WOOD BLOCKING FOR ALL WALL HUNG ITEMS (GRAB BARS, SHELVING, MILLWORK, HARDWARE, MOUNTING BRACKETS, ETC). 4" WIDE 16 GAUGE FLAT GALVANIZED STEEL BACKING MAY BE USED IN LIEU OF FIRE RETARDANT WOOD BLOCKING. BACKING SHALL SPAN AT LEAST THREE STUDS.
- PROVIDE APPROPRIATE METAL TRIM ACCESSORIES FOR GYP BD PER INDUSTRY STANDARDS OR AS SPECIFIED ON THESE DRAWINGS.
- ALL GYP BD PARTITIONS SHALL BE TAPED, SPACKLED, AND SANDED SMOOTH WITH NO VISIBLE JOINTS AND MADE READY TO RECEIVE SPECIFIED FINISHES.
- ALL PARTITIONS ABUTTING EXISTING BUILDING COLUMNS OR WALLS SHALL ALIGN NEW FINISH FACE WITH EXISTING UNLESS OTHERWISE NOTED. REMOVE EXISTING CORNER BEAD AND PROVIDE A SMOOTH TRANSITION.
- REMOVE EXISTING GYP BD AS NECESSARY FOR A SMOOTH FINISH WITH NO VISIBLE TRANSITION FROM EXISTING TO NEW GYP BD.
- PATCH ALL EXISTING GYP BD SURFACES AND REFINISH TO PROVIDE A SMOOTH SURFACE READY TO RECEIVE SPECIFIED FINISHES.

RESTROOM ACCESSORY & EQUIPMENT LIST:

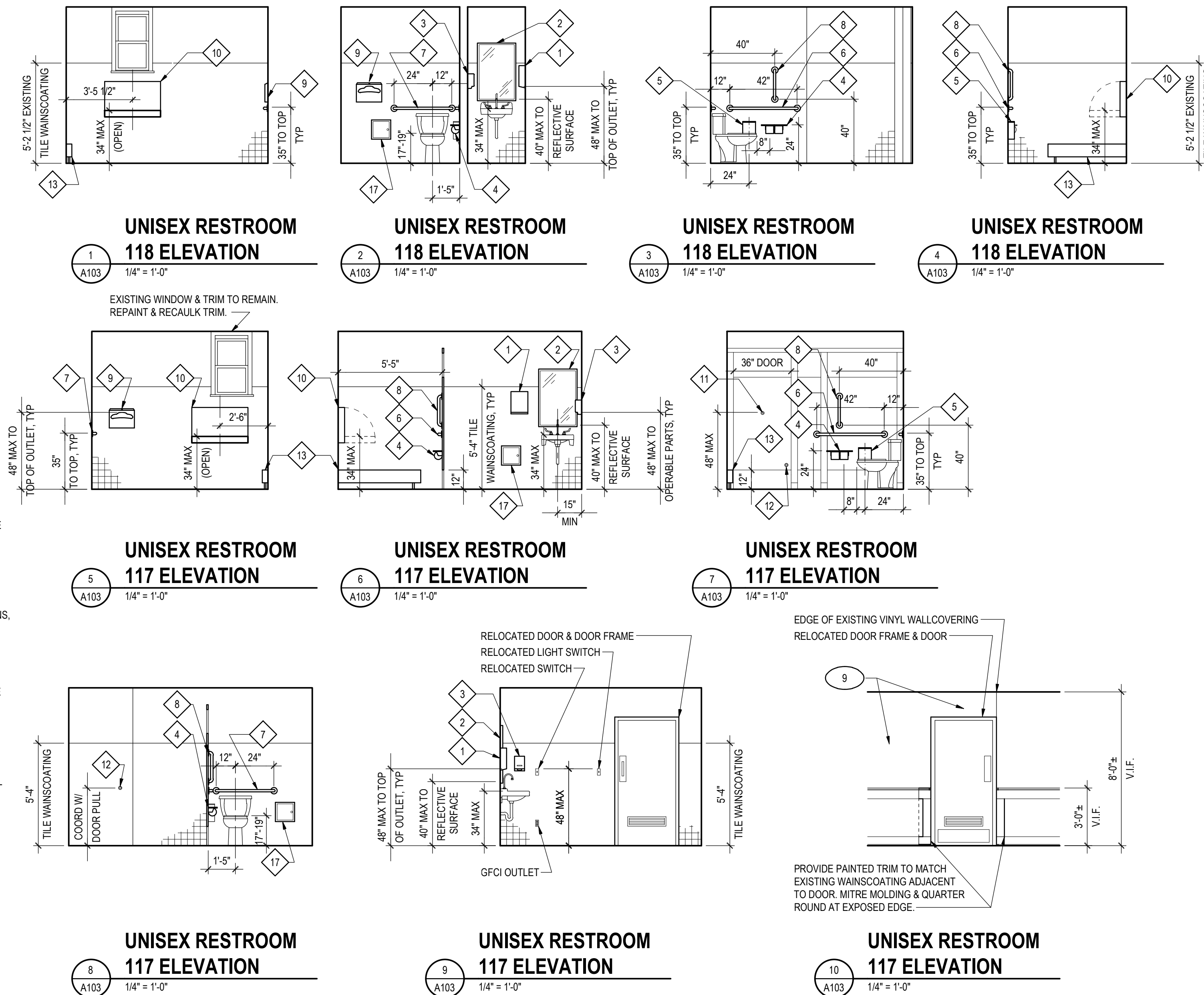
- | | |
|--|---|
| 1. PAPER TOWEL DISPENSER, 4" DEPTH MAX | 10. BABY CHANGING STATION, 4" DEPTH MAX |
| 2. MIRROR, 24"x36" | 11. COAT HOOK, 4" DEPTH MAX |
| 3. SOAP DISPENSER, 4" DEPTH MAX | 12. DOOR BUMPER, MAX 1-1/2" DEPTH. COORDINATE LOCATION W/ DOOR PULL OR BASEBOARD RADIATOR WHERE APPLICABLE. |
| 4. DUEL TOILET PAPER DISPENSER W/ INTEGRATED SHELF | 13. BASEBOARD RADIATOR |
| 5. SANITARY NAPKIN DISPOSAL | 14. UNISEX RESTROOM SIGNAGE, TYPE C |
| 6. 42" GRAB BAR | 15. UNISEX RESTROOM SIGNAGE, TYPE B |
| 7. 36" GRAB BAR | 16. NOT USED |
| 8. 18" VERTICAL GRAB BAR | 17. 12" x 12" ACCESS PANEL. VERIFY LOCATION IN FIELD WHERE ACCESS IS NEEDED. SEE DETAIL 5/A104. |
| 9. TOILET SEAT COVER DISPENSER, 4" DEPTH MAX | 18. FLOOR DRAIN. SEE PLUMBING DRAWINGS. |

FLOOR PLAN KEY NOTES:

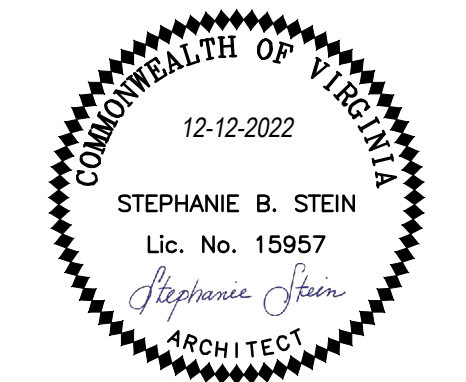
- PROVIDE GFCI DUPLEX RECEPTACLE AT EXISTING BACK BOX
- PATCH FLOOR SLAB, FLOOR TILE, WALL TILE & PAINTED GYPSUM WALL BOARD TO MATCH EXISTING WHERE ITEMS WERE REMOVED OR RELOCATED.
- RELOCATED SINK, 34" AFF MAX TO COUNTER
- RELOCATED TOILET
- WOOD DOOR, WOOD DOOR FRAME & DOOR HARDWARE. PROVIDE DOOR TRIM TO MATCH EXISTING. RELOCATE EXISTING FLOOR FINISH AT DOOR THRESHOLD TO NEW DOOR LOCATION. PATCH & PAINT ADJACENT WALL TO MATCH EXISTING, INCLUDING WOOD WAINSCOTING.
- REINSTALL EXISTING LIGHT SWITCH, 46" AFF TO CENTERLINE
- PROVIDE PAINTED GYPSUM WALL BOARD, FLOOR TILE & WALL TILE THROUGHOUT. PROVIDE TOILET PARTITIONS, TOILET PARTITION DOORS & TOILET ACCESSORIES WHERE INDICATED.
- NOT USED
- WHERE WALL COVERING IS REMOVED, PREP WALL SURFACE & PROVIDE SKIM COAT AS REQUIRED TO PROVIDE SMOOTH SURFACE. PAINT WALL TO MATCH EXISTING TO EXTENT SHOWN.
- REINSTALL EXISTING LIGHT SWITCH ABOVE GFCI RECEPTACLE, 46" AFF TO CENTERLINE
- PROVIDE NEW FLOOR PENETRATIONS FOR BASEBOARD RADIATOR & PATCH EXISTING PENETRATIONS AS NEEDED. COORDINATE LOCATION OF FLOOR PENETRATIONS WITH PURCHASED EQUIPMENT. SEE MECHANICAL DRAWINGS.
- WOOD DOOR, WOOD DOOR FRAME & DOOR HARDWARE. PROVIDE DOOR TRIM TO MATCH EXISTING.

PETERSBURG RESIDENCY FIRST FLOOR PARTIAL REFLECTED CEILING PLAN

1/4" = 1'-0"



PETERSBURG & SOUTH HILL RESIDENCY RESTROOM RENOVATIONS



REVISIONS

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DATE 12-12-2022

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PROJECT STATUS
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PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS



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DETAILS

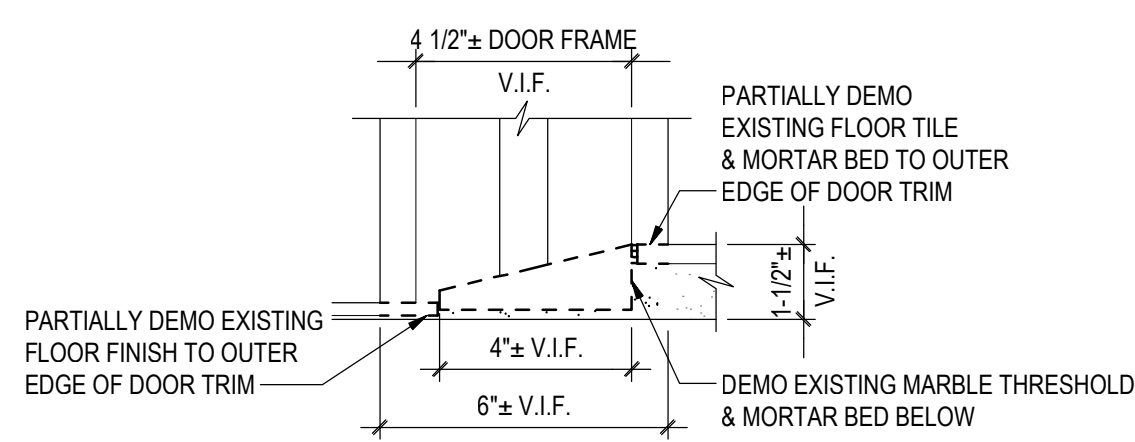
PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

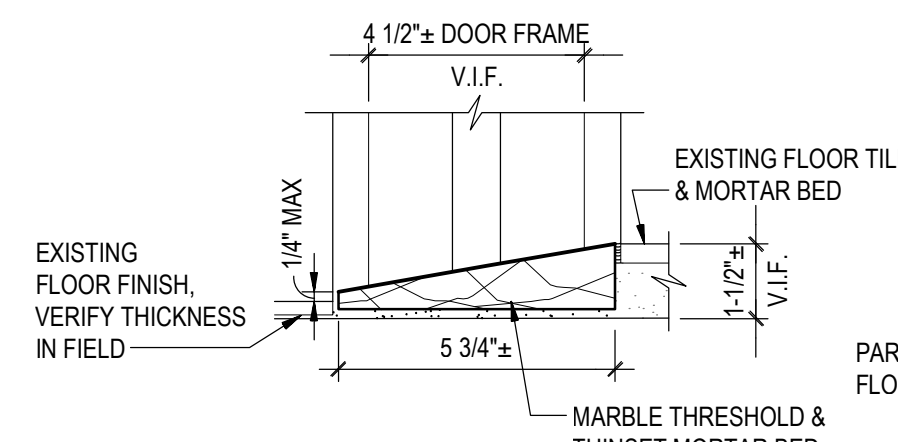
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IFB # 157389



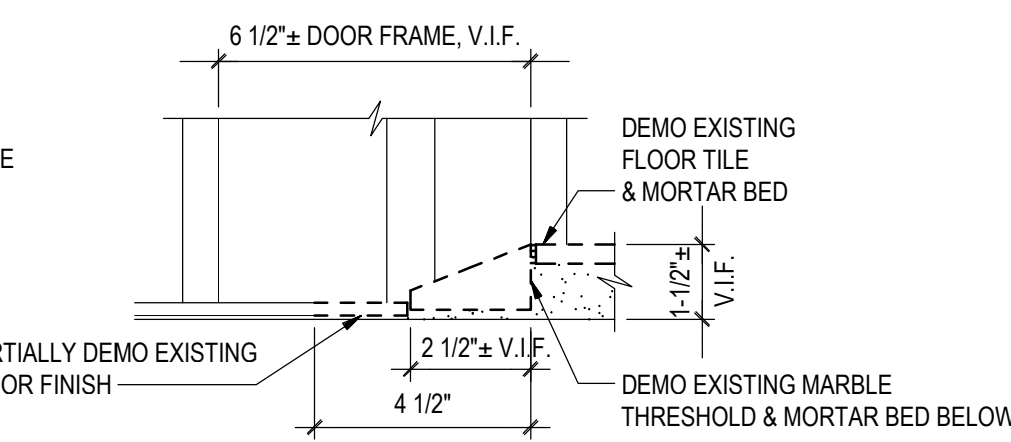
EXISTING WOMAN'S RESTROOM

1 THRESHOLD DEMO DETAIL
3" = 1'-0"



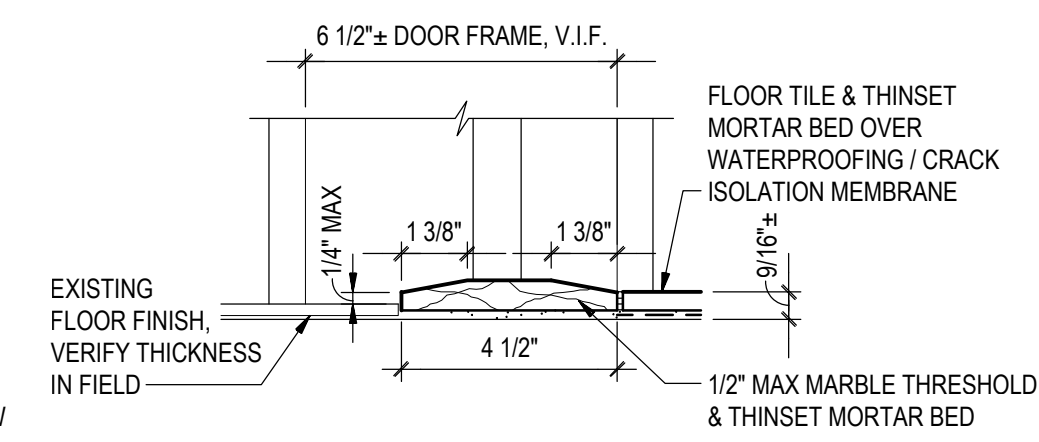
UNISEX RESTROOM 118

2 THRESHOLD NO. 1 DETAIL
3" = 1'-0"



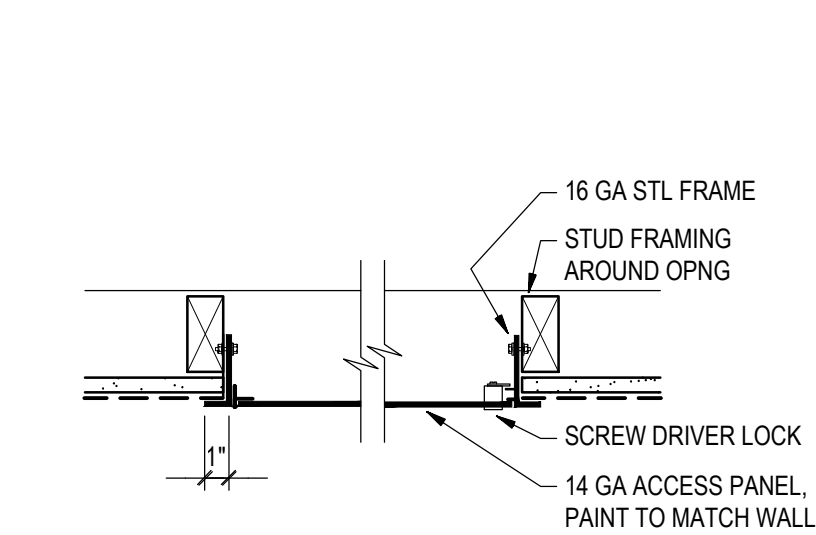
EXISTING MEN'S RESTROOM

3 THRESHOLD DEMO DETAIL
3" = 1'-0"

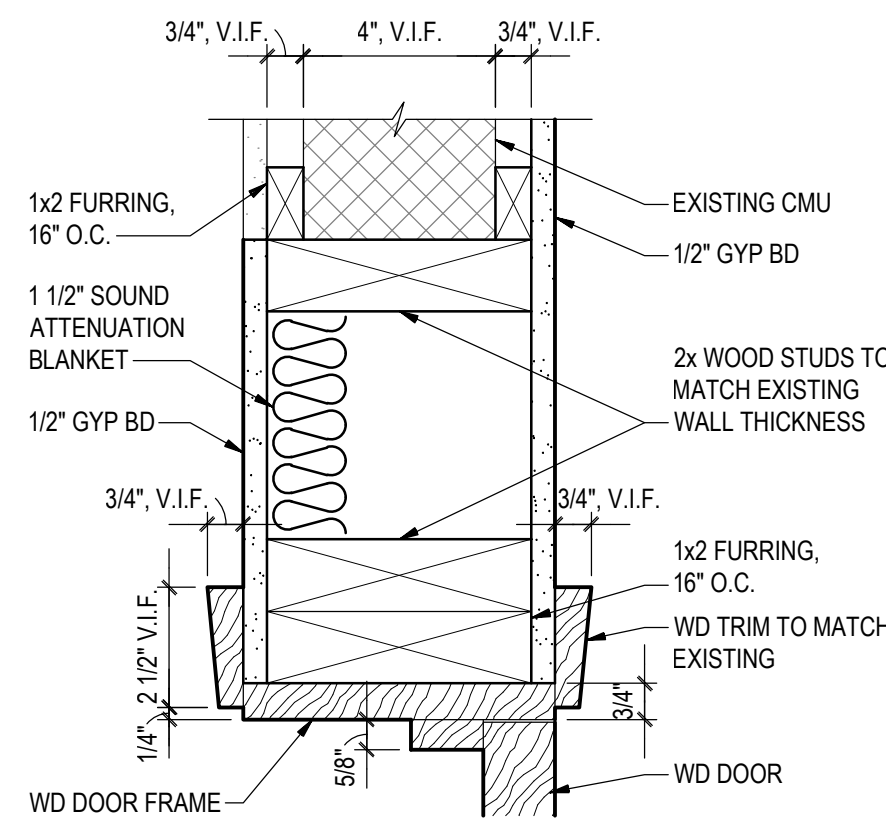


UNISEX RESTROOM 117

4 THRESHOLD NO. 2 DETAIL
3" = 1'-0"

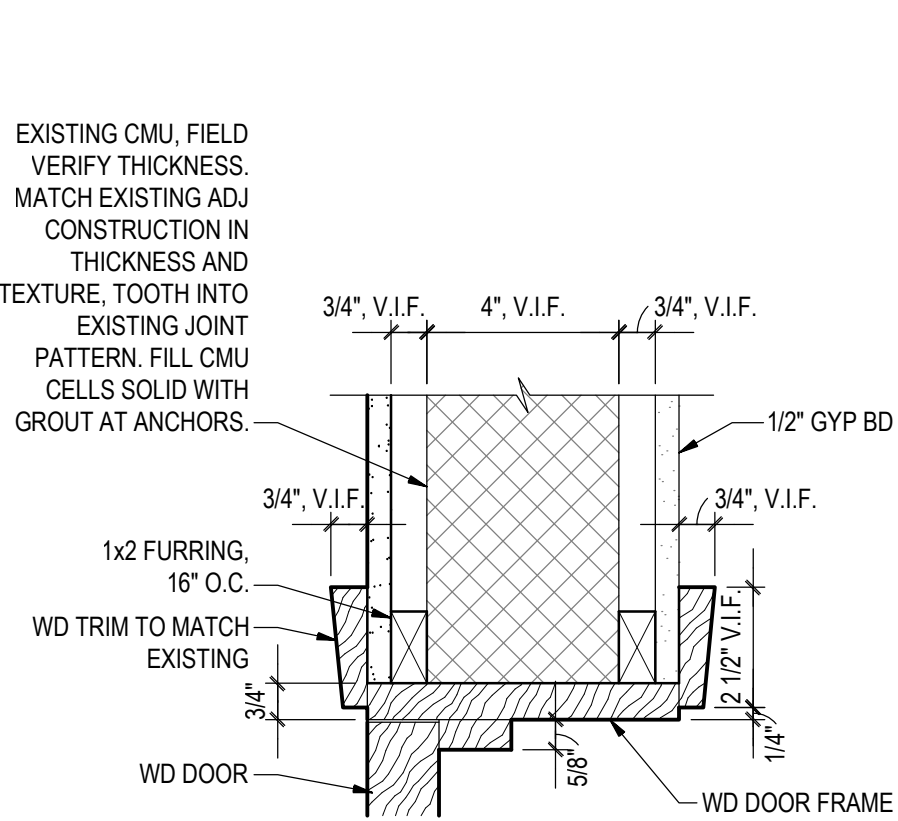


5 WALL ACCESS PANEL DETAIL
1-1/2" = 1'-0"



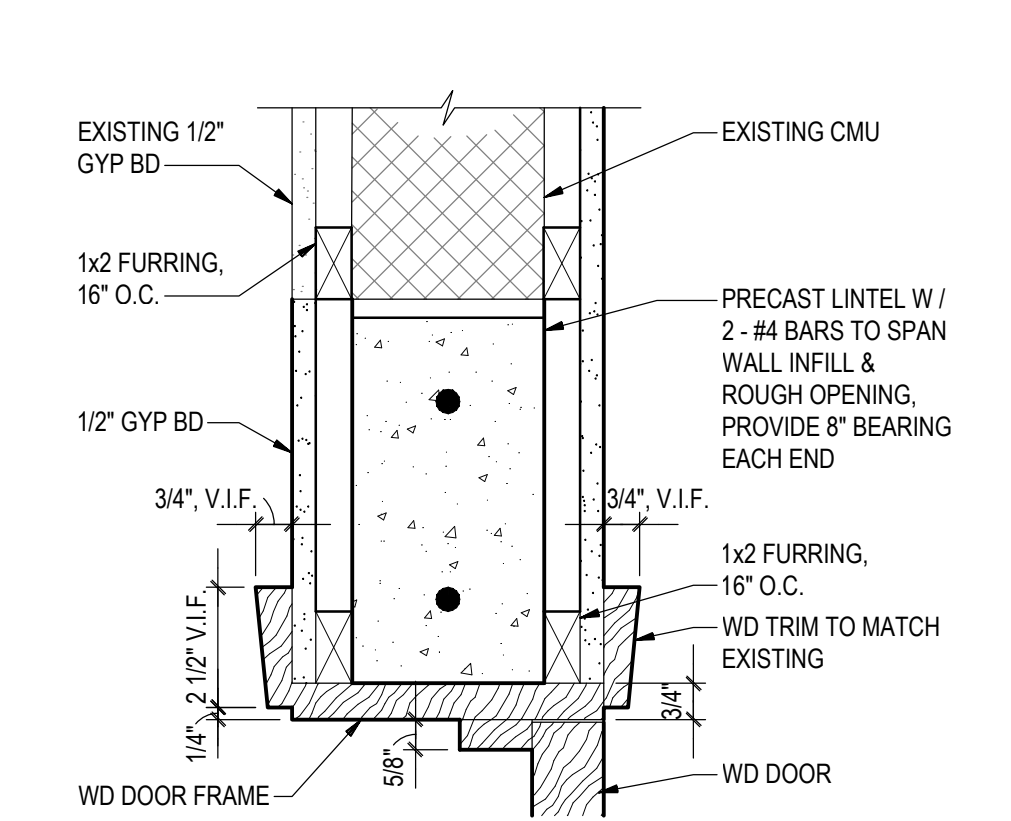
UNISEX RESTROOM 117

6 JAMB DETAIL AT WALL INFILL
3" = 1'-0"



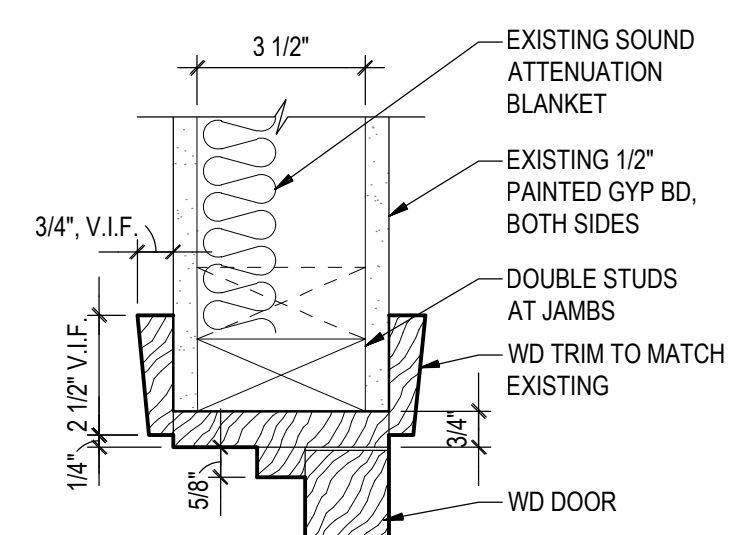
UNISEX RESTROOM 117

7 JAMB DETAIL AT EXISTING WALL
3" = 1'-0"



UNISEX RESTROOM 117

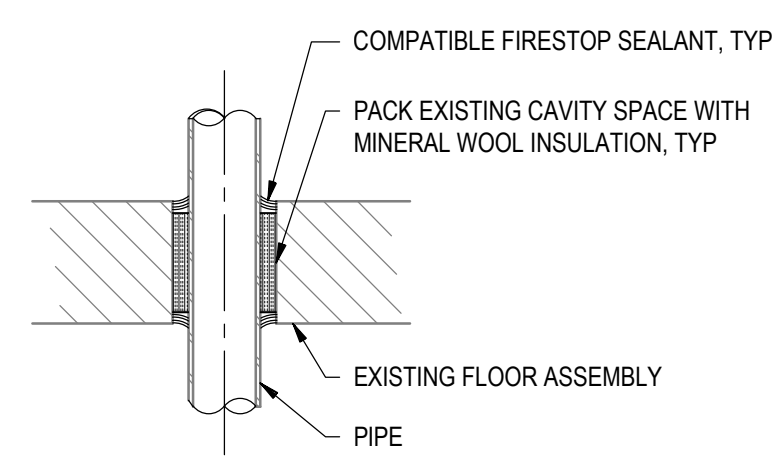
8 HEAD DETAIL
3" = 1'-0"



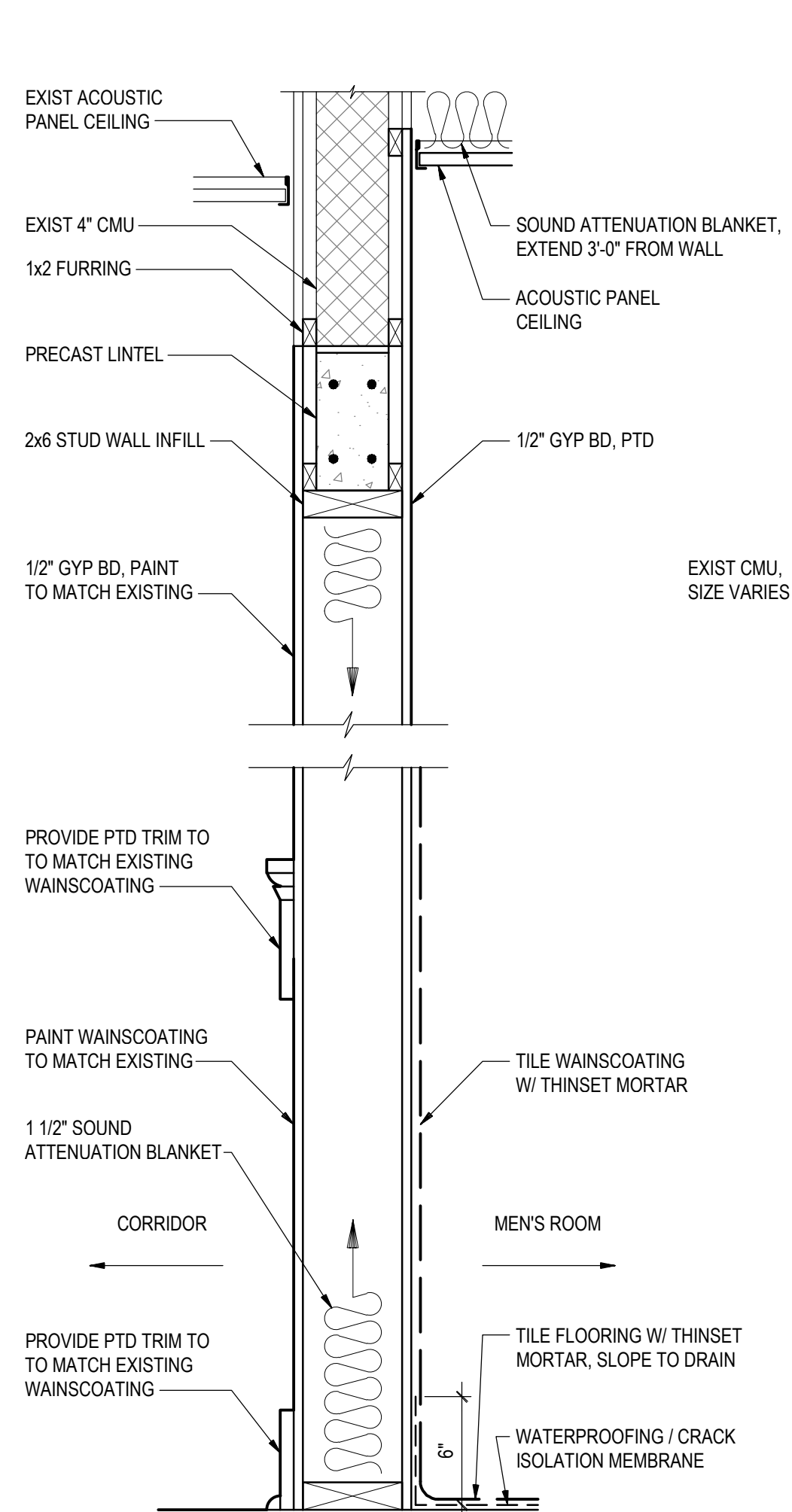
UNISEX RESTROOM 118

9 EXISTING HEAD DETAIL
3" = 1'-0"

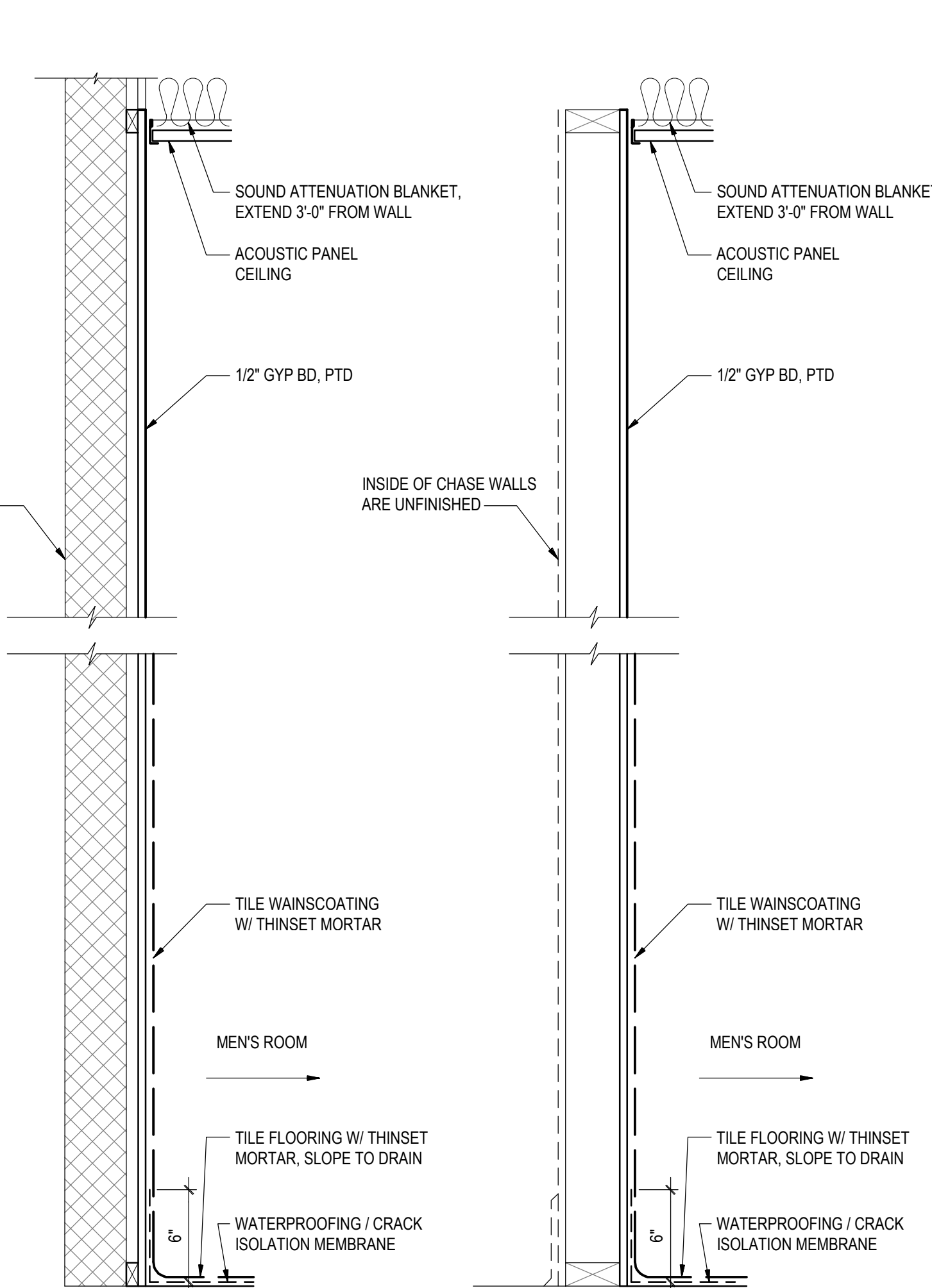
*EXISTING JAMBS SIMILAR (DOUBLE STUDS AT ALL JAMBS)



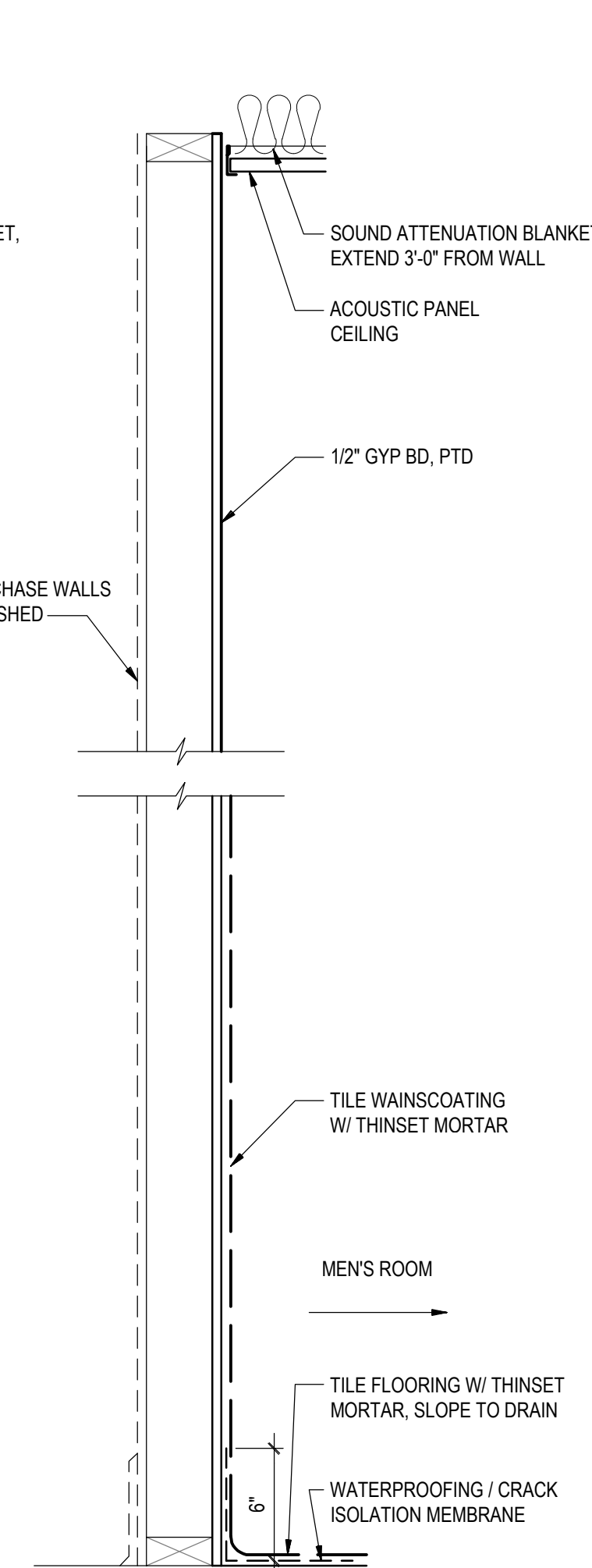
10 THROUGH-PENETRATION FIRESTOP DETAIL AT FLOOR
1" = 1'-0"



1 2x6 STUD WALL INFILL



2 EXIST CMU WALL



3 EXIST 2x4 STUDS

11 PARTITION TYPES
1-1/2" = 1'-0"

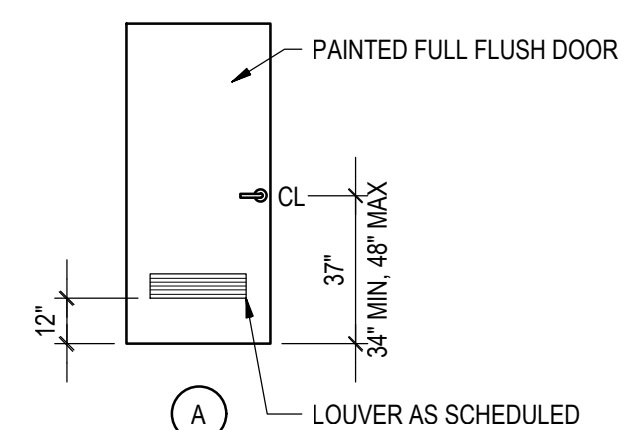
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DOOR SCHEDULE

DOOR NO	SPACE NO	SIZE	DOOR TYPE	DOOR MATL	FRAME MATL	JAMB DET	HEAD DET	LABEL	HDW SET NO	THR DET	LOUVER	REMARKS
1	118	3'-0"x6'-8"	A	WD	WD	9	9	-	1	2	24"x4"	*MATCH EXISTING LOUVER SIZE, VERIFY IN FIELD
2	117	3'-0"x6'-8"	A	WD	WD	6/7	8	-	1	4	24"x6"	*MATCH EXISTING LOUVER SIZE, VERIFY IN FIELD

DOOR SCHEDULE NOTES

- ALL DOORS ARE 1-3/4" THICK UNLESS OTHERWISE NOTED.
- UNDERCUT ALL DOORS TO CLEAR FLOOR FINISHES AND TO CLEAR THRESHOLD BY 1/2" AT TOILET ROOMS, UNLESS OTHERWISE NOTED.
- DOOR HARDWARE FINISH TO MATCH EXISTING



DOOR TYPE

HARDWARE SET NO. 1

- HINGES
- PRIVACY LOCKSET WITH INDICATOR
- SURFACE MOUNTED CLOSER
- WALL MOUNTED DOOR STOP
- SILENCERS
- KICKPLATE

DATE: 12/20/22
TIME: 10:52
FILE: 1801-A104
SCALE: 1"=1'-0"



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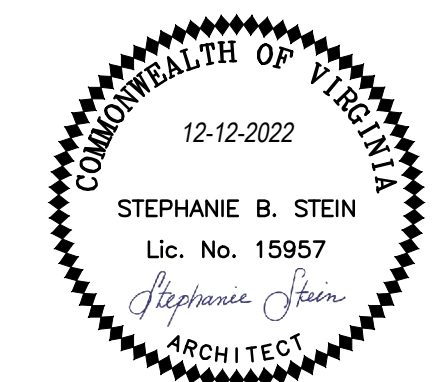
703-241-2202
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PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



REVISIONS

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DATE 12-12-2022

DRAWING TITLE

ARCHITECTURAL
SOUTH HILL RESIDENCY FIRST FLOOR PARTIAL DEMOLITION PLAN & PARTIAL REFLECTED CEILING DEMOLITION PLAN

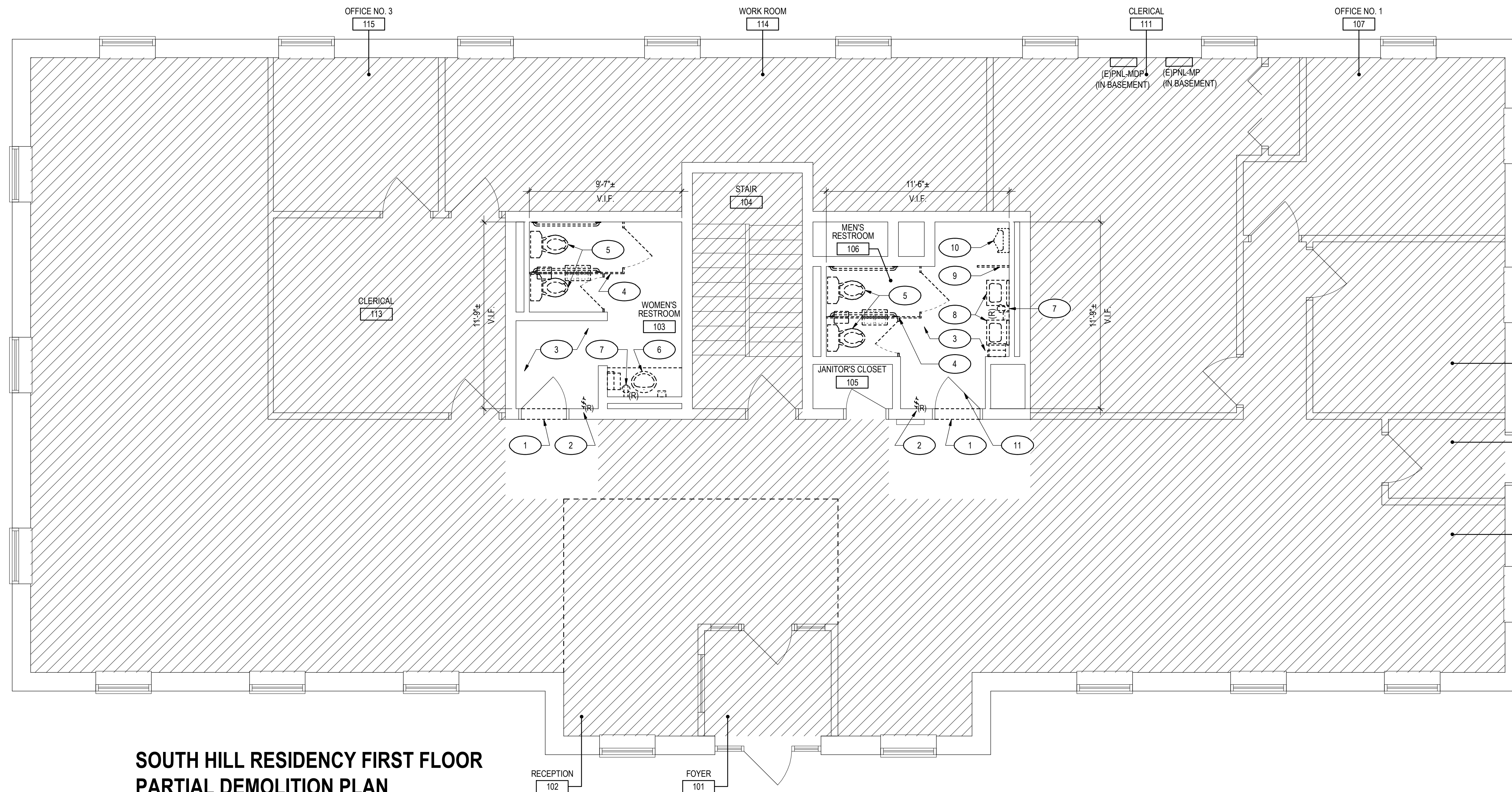
PROJECT STATUS

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IFB # 157389



FLOOR DEMOLITION PLAN LEGEND:

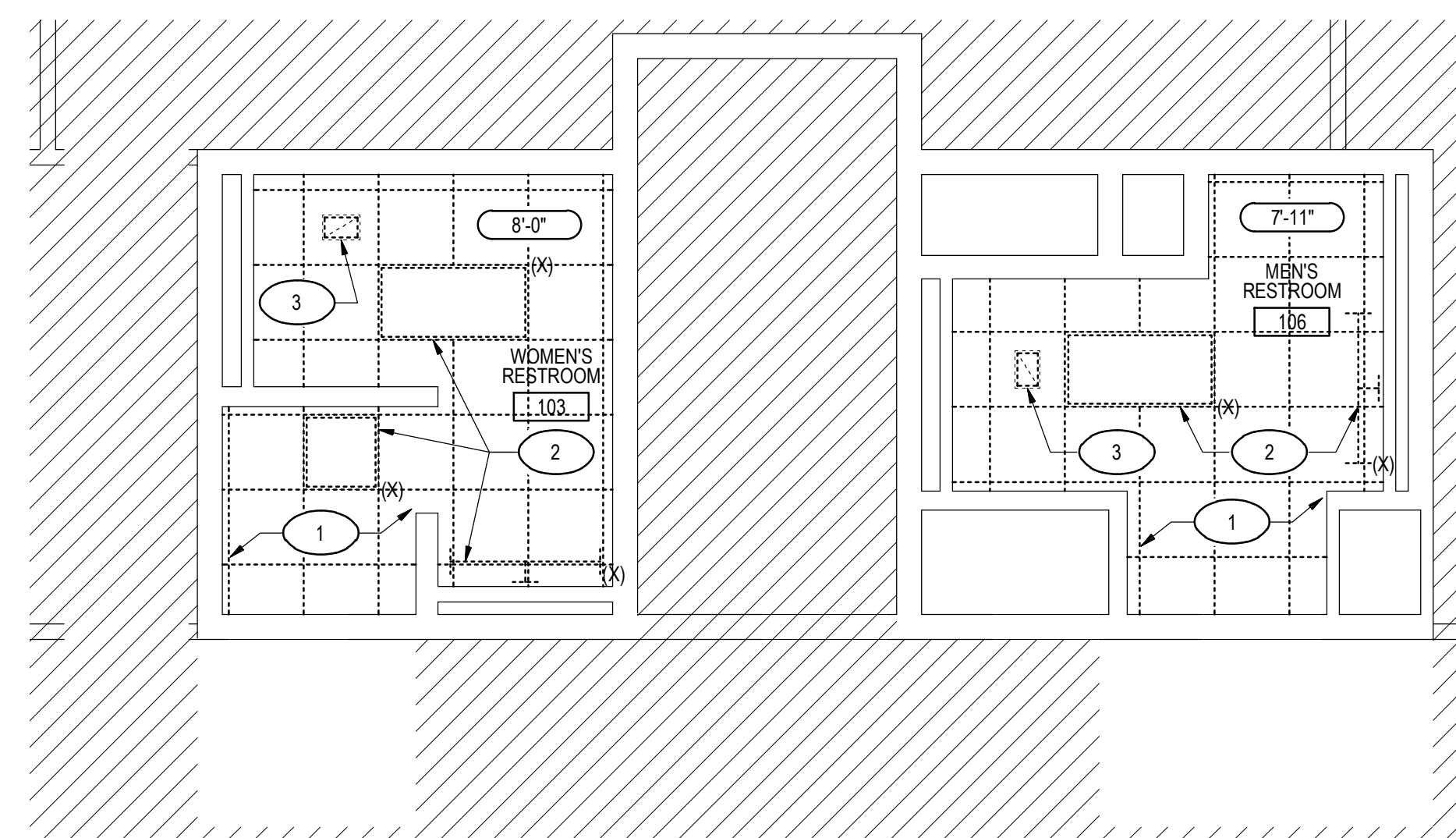
- PARTITION / CONSTRUCTION TO REMAIN
- DOOR AND FRAME TO REMAIN
- REMOVE PARTITION / CONSTRUCTION
- REMOVE DOOR AND FRAME
- REMOVE PARTITION, DOOR AND FRAME

FLOOR DEMOLITION PLAN KEY NOTES:

- 1 REMOVE MARBLE & WOOD DOOR THRESHOLD
- 2 REMOVE EXISTING LIGHT SWITCH & MAINTAIN FOR RELOCATION
- 3 REMOVE WALL TILE, FLOOR TILE, MORTAR BED, WATERPROOFING MEMBRANE & RESTROOM ACCESSORIES THROUGHOUT
- 4 REMOVE TOILET PARTITIONS, TOILET PARTITION DOORS & TOILET PARTITION HARDWARE
- 5 REMOVE TOILETS, PARTIALLY DEMO FLOOR SLAB AS NEEDED FOR INSTALL OF NEW TOILETS.
- 6 REMOVE LAVATORY, BUILT-IN CABINET, BACKSPLASH & MIRROR ABOVE
- 7 REMOVE DUPLEX RECEPTACLE. MAINTAIN EXISTING BRANCH CIRCUIT WIRING, CONDUIT & BACK BOX FOR INSTALLATION OF GFCI RECEPTACLE.
- 8 REMOVE LAVATORIES & MIRRORS ABOVE
- 9 REMOVE URINAL SCREEN
- 10 REMOVE URINAL
- 11 REMOVE DOOR CLOSER

**SOUTH HILL RESIDENCY FIRST FLOOR
PARTIAL DEMOLITION PLAN**

1/4" = 1'-0"



CEILING DEMOLITION PLAN LEGEND:

- REMOVE 2' x 2' SUSPENDED ACOUSTICAL PANEL CEILING
- CEILING HEIGHT ABOVE FINISH FLOOR, SEE FINISH SCHEDULE FOR SPACES NOT INDICATED
- HVAC DIFFUSER, SEE MECH DWGS
- EXISTING LIGHT FIXTURES TO BE REMOVED

CEILING DEMOLITION PLAN KEY NOTES:

- 1 REMOVE CEILING GRID, CEILING TILES & ASSOCIATED ACCESSORIES THROUGHOUT
- 2 REMOVE EXISTING LIGHT FIXTURES. MAINTAIN EXISTING BRANCH CIRCUIT WIRING & CONDUIT FOR CONNECTION TO NEW FIXTURES.
- 3 REMOVE HVAC DIFFUSER

GENERAL DEMOLITION NOTES

- THIS PLAN IS NOT A COMPLETE REPRESENTATION OF ALL THE EXISTING CONDITIONS. THIS PLAN IS SCHEMATIC IN NATURE AND INTENDS TO SHOW THE GENERAL EXTENT AND LAYOUT OF THE EXISTING FACILITY.
- REMOVE EXISTING CONSTRUCTION CLEANLY AND LEAVE EXISTING CONSTRUCTION TO REMAIN READY TO RECEIVE NEW WORK.
- REMOVE EXISTING CONSTRUCTION, INCLUDING MECHANICAL, PLUMBING, ELECTRICAL WORK ETC., AS NECESSARY AND WHEREVER NECESSARY TO PROVIDE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- REMOVE EXISTING FLOOR FINISHES AND/OR PREPARE FLOORS TO BE LEVEL AND READY FOR REPLACEMENT WITH NEW FINISH AS SCHEDULED OR WITH NEW MATERIAL NOTED.
- REMOVE MISCELLANEOUS METALS, HOOKS, NAILS, ETC., FROM WALLS AND FLOORS.
- REMOVE EXISTING CABINETS, COAT HOOKS, PLUMBING, MECHANICAL, ELECTRICAL WORK, ETC. AS REQUIRED. SALVAGE ITEMS AS INDICATED AND/OR DIRECTED BY OWNER.
- AS DIRECTED BY THE OWNER REMOVE, BOX, LABEL, AND DELIVER TO OWNER, MISCELLANEOUS ITEMS OR EQUIPMENT DESIGNATED FOR REMOVAL OR LOCATED ON SURFACES WHICH ARE NECESSARY TO BE REMOVED, UNLESS INDICATED FOR RELOCATION.
- REMOVE EXISTING TOILET PARTITIONS, TOILET ACCESSORIES AND PLUMBING FIXTURES WHERE INDICATED, INCLUDING RELATED PIPING AS REQUIRED.
- REMOVE EXISTING CEILINGS AND ALL RELATED ACCESSORIES IN THEIR ENTIRETY WHERE INDICATED.

**SOUTH HILL RESIDENCY FIRST FLOOR
PARTIAL REFLECTED CEILING DEMOLITION PLAN**

1/4" = 1'-0"



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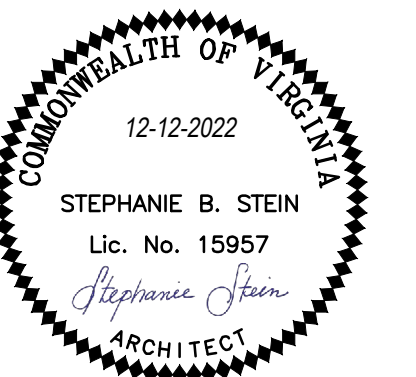
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PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
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**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



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CHECKED BY JH

DATE 12-12-2022

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ARCHITECTURAL
SOUTH HILL RESIDENCY
BASEMENT PARTIAL
DEMOLITION PLAN

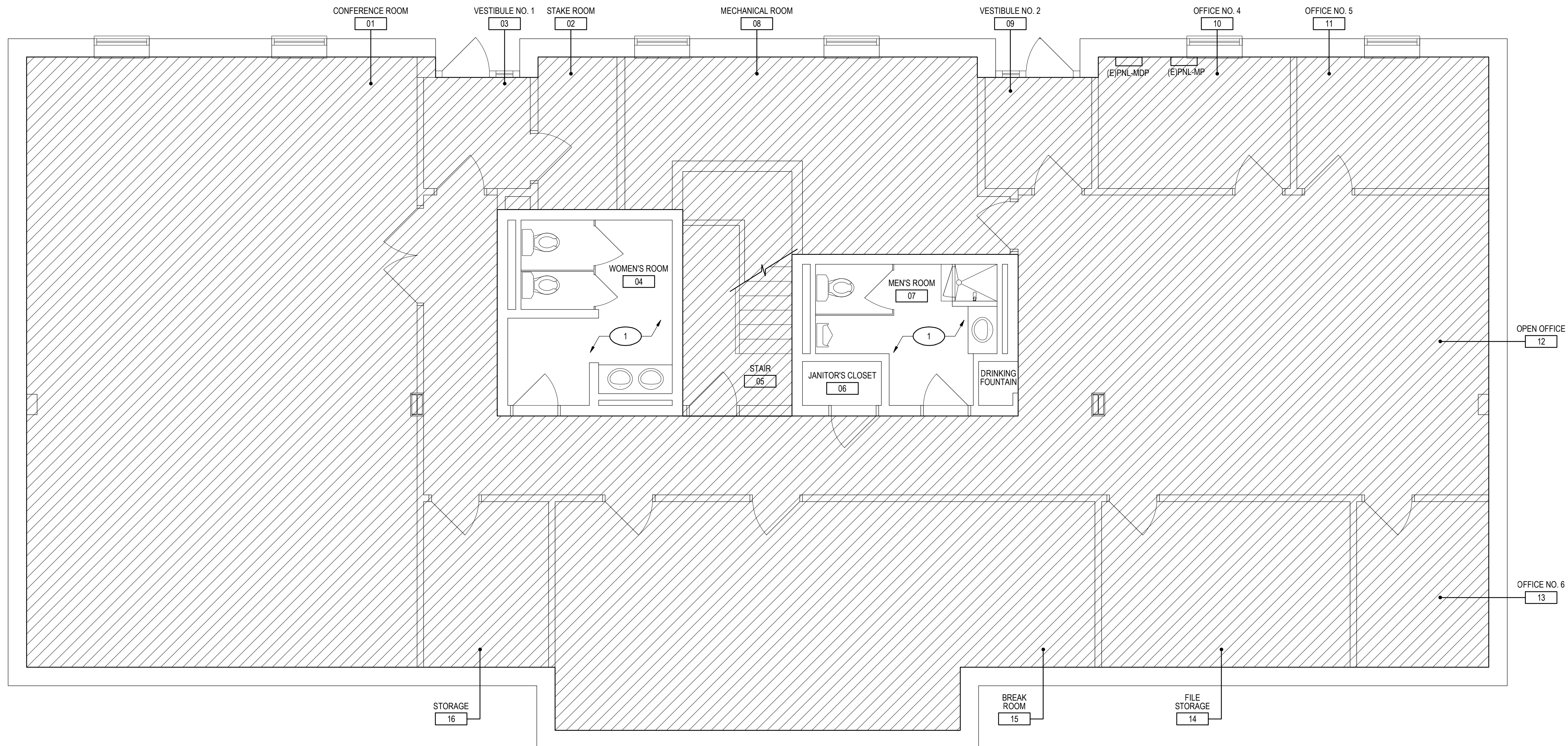
PROJECT STATUS

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A106

IFB # 157389

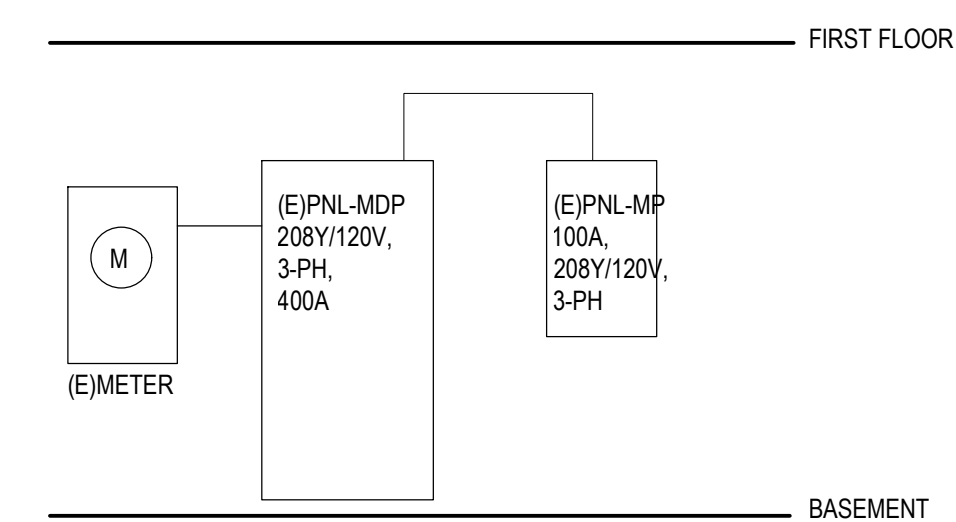


**SOUTH HILL RESIDENCY BASEMENT
PARTIAL DEMOLITION PLAN**

1/4" = 1'-0"

PARTIAL DEMOLITION PLAN KEY NOTES

- 1 REMOVE AND REPLACE EXISTING 2x4 ACOUSTIC CEILING TILES TO ACCESS AND PERFORM WORK ABOVE. REPLACE TILES TO MATCH EXISTING IF DAMAGED DURING THE PERFORMANCE OF THE WORK.



EXISTING POWER RISER DIAGRAM

NOT TO SCALE



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PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1

DRAWN BY SS

CHECKED BY JH

DATE 12-12-2022

DRAWING TITLE

ARCHITECTURAL
SOUTH HILL RESIDENCY FIRST
FLOOR PARTIAL FLOOR PLAN &
PARTIAL REFLECTED CEILING PLAN

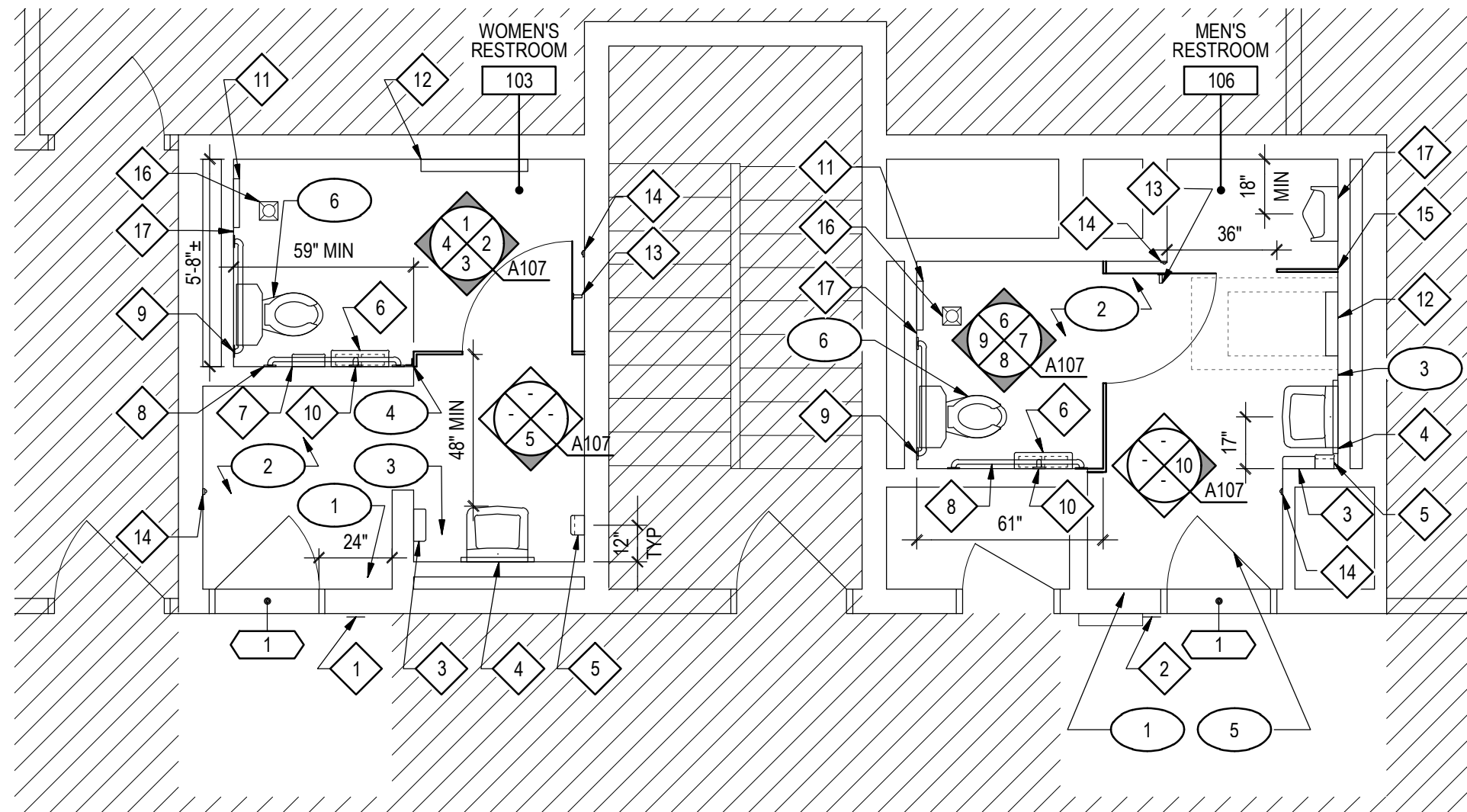
PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

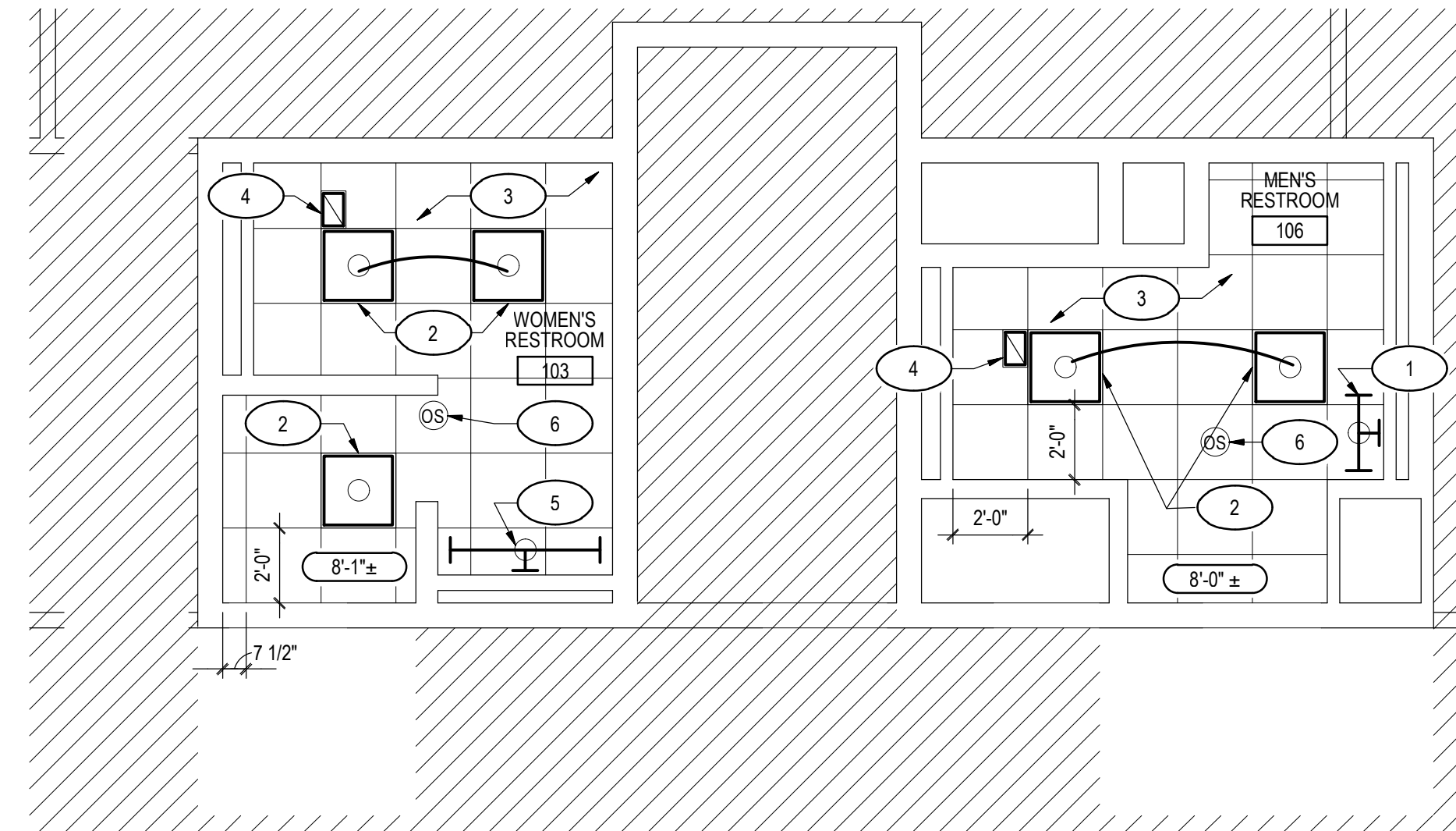
A107

IFB # 157389



LEGEND:

- ROOM DESIGNATION
- ROOM NUMBER
- DOOR WITH DOOR NUMBER
- PARTITION TYPE
- EQUIPMENT NUMBER
- KEY NOTE NUMBER
- FLOOR TRANSITION DESIGNATION
- WALL ELEVATION NUMBER
- SHEET WHERE DRAWN (IF NOT THE SAME)
- GROUND FAULT INTERRUPTING DUPLEX RECEPTACLE, NEMA 5-20R
- LIGHT SWITCH



LEGEND:

- 2 x 2 SUSPENDED ACOUSTICAL PANEL CEILING
- CEILING HEIGHT ABOVE FINISH FLOOR, SEE FINISH SCHEDULE FOR SPACES NOT INDICATED
- WIRING: 2 #12, 1 #12 GND IN 3/4" CONDUIT, U.O.N.
- HVAC DIFFUSER, SEE MECH DWGS
- LIGHT FIXTURES
- OCCUPANCY SENSOR

CEILING PLAN KEY NOTES:

- 1 PROVIDE WALL MOUNTED LIGHT FIXTURE. BASIS OF DESIGN: LITHONIA FMVCSL-24IN-MVOLT-30K-90CRI-BN. CONNECT TO EXISTING BRANCH CIRCUIT WIRING AND CONDUIT. ALTERNATE FIXTURE 1: LITECONTROL 67L-W-D ALTERNATE FIXTURE 2: WAC LIGHTING WS-77624
- 2 PROVIDE 2 x 2 LIGHT FIXTURE. BASIS OF DESIGN: LITHONIA 2GTL-2-33L-SWL-MVOLT-EZ1-LP835. CIRCUIT TO EXISTING LIGHTING BRANCH CIRCUIT IN THIS AREA AND EXTEND W/ 2 #12 + 1 #12 GND IN 3/4" MINIMUM, MATCH EXISTING WIRE SIZE AND RATING. ALTERNATE FIXTURE 1: COLUMBIA LIT22 ALTERNATE FIXTURE 2: METALUX 22GR LED
- 3 PROVIDE CEILING GRID, CEILING PANELS & ASSOCIATED ACCESSORIES THROUGHOUT
- 4 PROVIDE WALL MOUNTED LIGHT FIXTURE. BASIS OF DESIGN: LITHONIA FMVCSL-36IN-MVOLT-30K-90CRI-BN. CONNECT TO EXISTING BRANCH CIRCUIT WIRING AND CONDUIT. ALTERNATE FIXTURE 1: LITECONTROL 67L-W-D ALTERNATE FIXTURE 2: WAC LIGHTING WS-77624
- 5 PROVIDE CEILING MOUNTED OCCUPANCY SENSOR. BASIS OF DESIGN: LUTRON LOS-CDT-2000-WH OR APPROVED EQUAL, WITH POWER PACK AS NEEDED TO OPERATE. CIRCUIT TO EXISTING FIXTURES FOR CONTROL. ALTERNATES: LEGRAND LMDC-100, SENSORSWITCH CMR-PDT-9
- 6

**SOUTH HILL RESIDENCY FIRST FLOOR
PARTIAL FLOOR PLAN**

1/4" = 1'-0"

RESTROOM ACCESSORY & EQUIPMENT LIST:

- 1 WOMEN'S RESTROOM SIGNAGE
- 2 MEN'S RESTROOM SIGNAGE
- 3 PAPER TOWEL DISPENSER, 4" DEPTH MAX
- 4 MIRROR, 24"x36"
- 5 SOAP DISPENSER, 4" DEPTH MAX
- 6 DUEL TOILET PAPER DISPENSER W/ INTEGRATED SHELF
- 7 SANITARY NAPKIN DISPOSAL
- 8 42" GRAB BAR
- 9 36" GRAB BAR
- 10 18" GRAB BAR
- 11 TOILET SEAT COVER DISPENSER, 4" DEPTH MAX
- 12 BABY CHANGING STATION, 4" DEPTH MAX IF LEADING EDGE MOUNTED HIGHER THAN 27" ABOVE FINISHED FLOOR
- 13 COAT HOOK, 4" DEPTH MAX
- 14 DOOR BUMPER, MAX 1-1/2" DEPTH. COORDINATE LOCATION W/ DOOR & DOOR PULL WHERE APPLICABLE.
- 15 20" x 48" URINAL SCREEN
- 16 FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- 17 12"x12" ACCESS PANEL. VERIFY LOCATION IN FIELD WHERE ACCESS IS NEEDED. SEE DETAIL 5/A108.

GENERAL PLAN NOTES

1. ALL PARTITIONS ARE TYPE 1 UNLESS OTHERWISE NOTED. SEE DRAWING A109 FOR PARTITION TYPES.

DOOR FRAME DETAIL NOTES

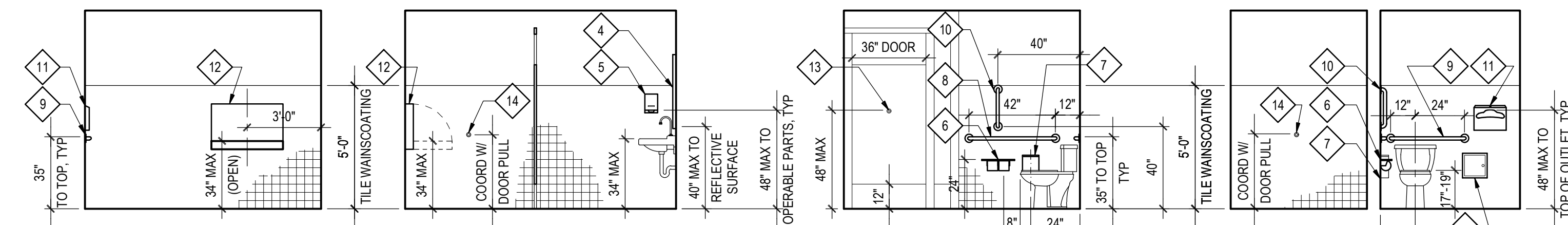
1. APPLY SEALANT AROUND THE ENTIRE FRAME PERIMETER OF INTERIOR FRAME ON RESTROOM SIDE OF THE WALL. SEALANT APPLICATION AT INTERIOR FRAME SHOULD CLOSE THE GAP BETWEEN THE WALL SURFACE AND THE FRAME AND SHOULD NOT CREATE A COVE AT THIS JUNCTURE.

FLOOR PLAN KEY NOTES:

- 1 REINSTALL EXISTING LIGHT SWITCH, 46" AFF TO CENTERLINE
- 2 PAINT EXISTING CMU. PROVIDE FLOOR TILE & PROVIDE WALL TILE THROUGHOUT. PROVIDE TOILET PARTITIONS, TOILET PARTITION DOORS & TOILET ACCESSORIES WHERE INDICATED.
- 3 PROVIDE GFCI DUPLEX RECEPTACLE AT EXISTING BACK BOX.
- 4 PROVIDE CONTINUOUS BRACKET FOR PRIVACY FROM TOILET PARTITION MANUFACTURER WHERE TOILET PARTITION ABUTS EXISTING WALL IN THIS LOCATION
- 5 PATCH DOOR & DOOR FRAME WHERE DOOR CLOSER WAS REMOVED
- 6 FLOOR ASSEMBLY IS FIRE RATED. PROVIDE UL THROUGH-PENETRATION FIRE STOP SYSTEM AT ALL FLOOR PENETRATIONS PER DETAIL 1/A108.

**SOUTH HILL RESIDENCY FIRST FLOOR
PARTIAL REFLECTED CEILING PLAN**

1/4" = 1'-0"

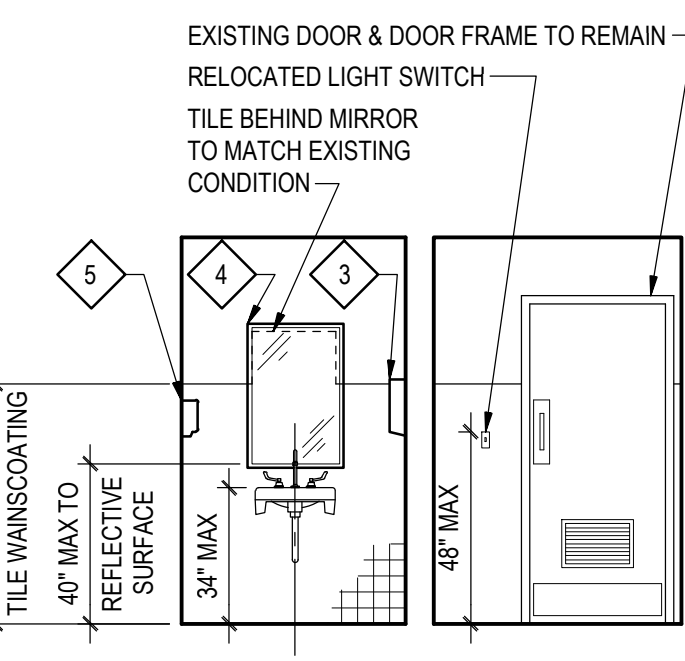


**WOMEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"

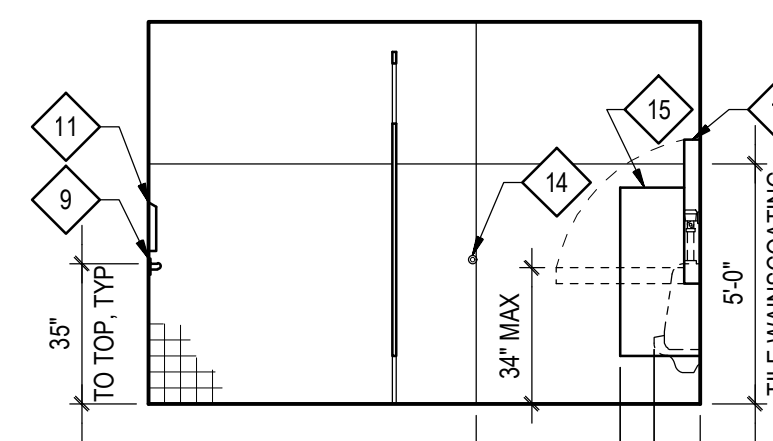
**WOMEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"

**WOMEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"

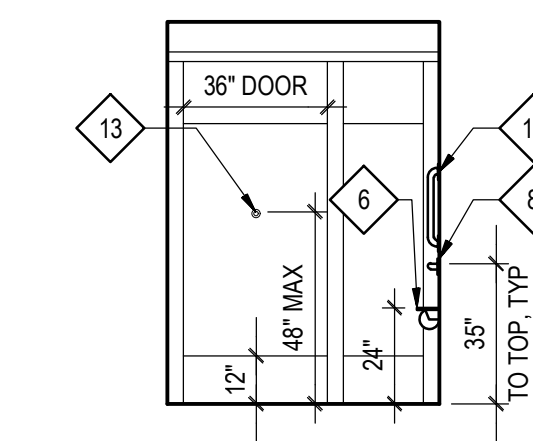
**WOMEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"



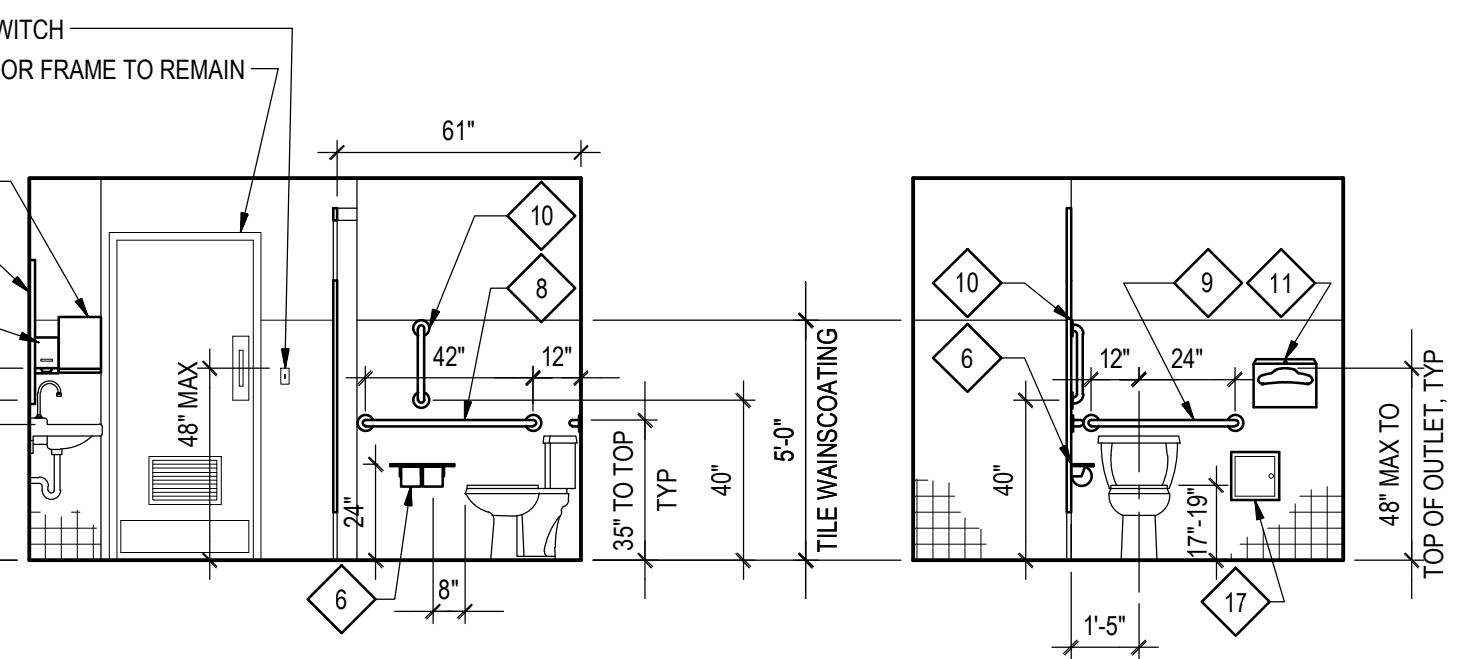
**WOMEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"



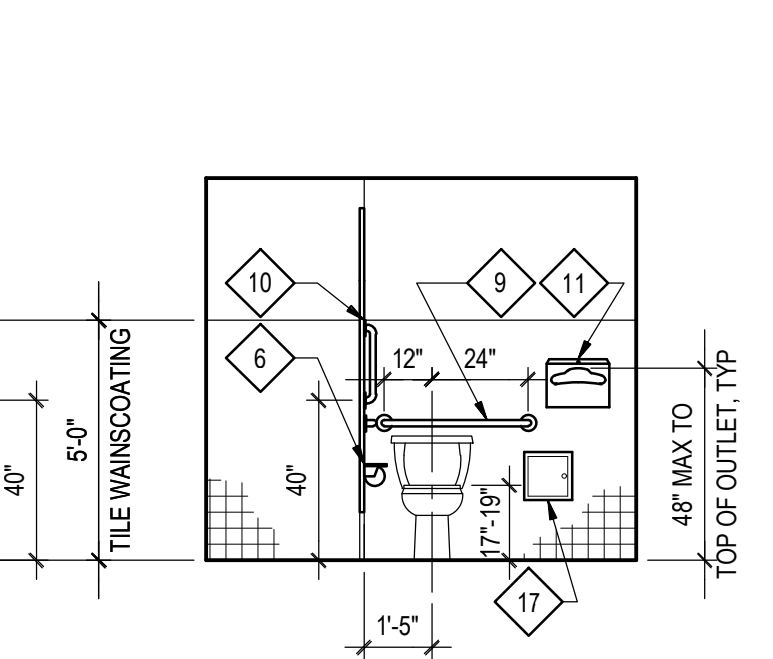
**MEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"



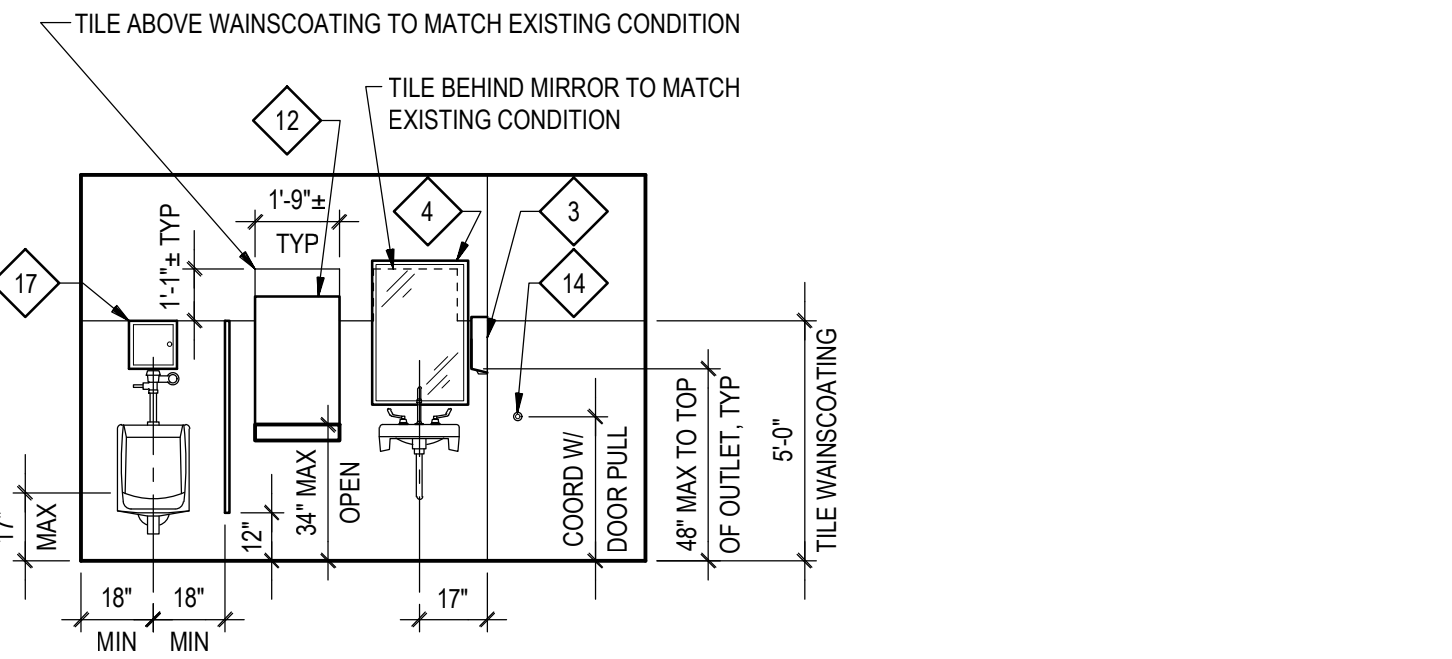
**MEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"



**MEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"



**MEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"



**MEN'S RESTROOM
ELEVATION**
1/4" = 1'-0"

UL Product iQ®

XHEZ.F-E-1001 - Through-penetration Firestop Systems

Design/System/Construction/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, system, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot always address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of fire resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specifics concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

XHEZ - Through-penetration Firestop Systems

See General Information for Through-penetration Firestop Systems

System No. F-E-1001

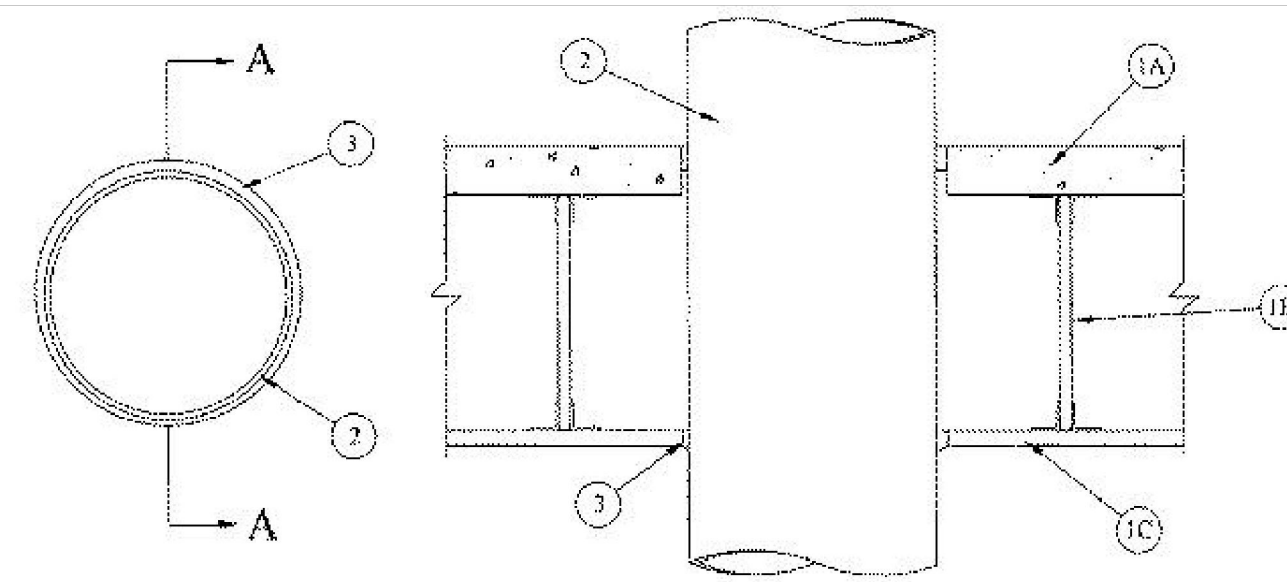
March 23, 2012

F Rating — 1 Hr

T Rating — 1 Hr

L Rating At Ambient — Less Than 1 CFM/Sq Ft (See Item 3)

L Rating At 400°F — Less Than 1 CFM/Sq Ft (See Item 3)



SECTION A-A

1. Floor-Ceiling Assembly — The 1 hr fire rated concrete and steel joist floor-ceiling assembly shall be constructed of the materials and in the manner described in the individual G500 Series Design in the UL Fire Resistance Directory, as summarized below:

A. Flooring — Normal or Lightweight or normal weight (100-150 pcf or 1600-2400 kg/m³) concrete as specified in the individual G500 Series Design. Max diam of opening is 11-1/4 in. (286 mm).

B. Joists — Steel joists or **Structural Steel Members*** as specified in the individual G500 Series Design.

C. Gypsum Board* — Min 5/8 in. (16 mm) thick, screw-attached to furring channels as specified in the individual G500 Series Design. Max diam of opening is 11-1/4 in. (286 mm).

2. Through Penetrant — One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the opening, approx midway between joists. The annular space between penetrant and periphery of opening shall be min 1/4 in. (6 mm) to max 1/2 in. (13 mm). Penetrant to be rigidly supported on both sides of floor assembly. The following types and sizes of metallic pipe, conduit or tubing may be used:

A. Steel Pipe — Nom 10 in. (254 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.

B. Iron Pipe — Nom 10 in. (254 mm) diam (or smaller) cast or ductile iron pipe.

C. Conduit — Nom 6 in. (152 mm) diam (or smaller) steel conduit, or nom 4 in. (102 mm) diam (or smaller) electrical metallic tubing.

D. Copper Tubing — Nom 3 in. (76 mm) diam (or smaller) Type L (or heavier) copper tube.

E. Copper Pipe — Nom 3 in. (76 mm) diam (or smaller) Regular (or heavier) copper pipe.

3. Fill, Void or Cavity Materials* — Caulk or Sealant — Min 3/4 in. (19 mm) thickness of fill material applied within the annulus, flush with top surface of floor. Min 5/8 in. (16 mm) thickness of fill material applied within the annulus, flush with bottom surface of ceiling. An additional min 1/4 in. (6 mm) crown of fill material applied to perimeter of penetrant at its egress from the underside of ceiling.

3M COMPANY — CP-25 WB+ Caulk, IC-15 WB+ Caulk or FB-3000 WT Sealant

(Note - L Rating applies only when CP 25 WB+ Caulk or FB-3000 WT Sealant is used.)

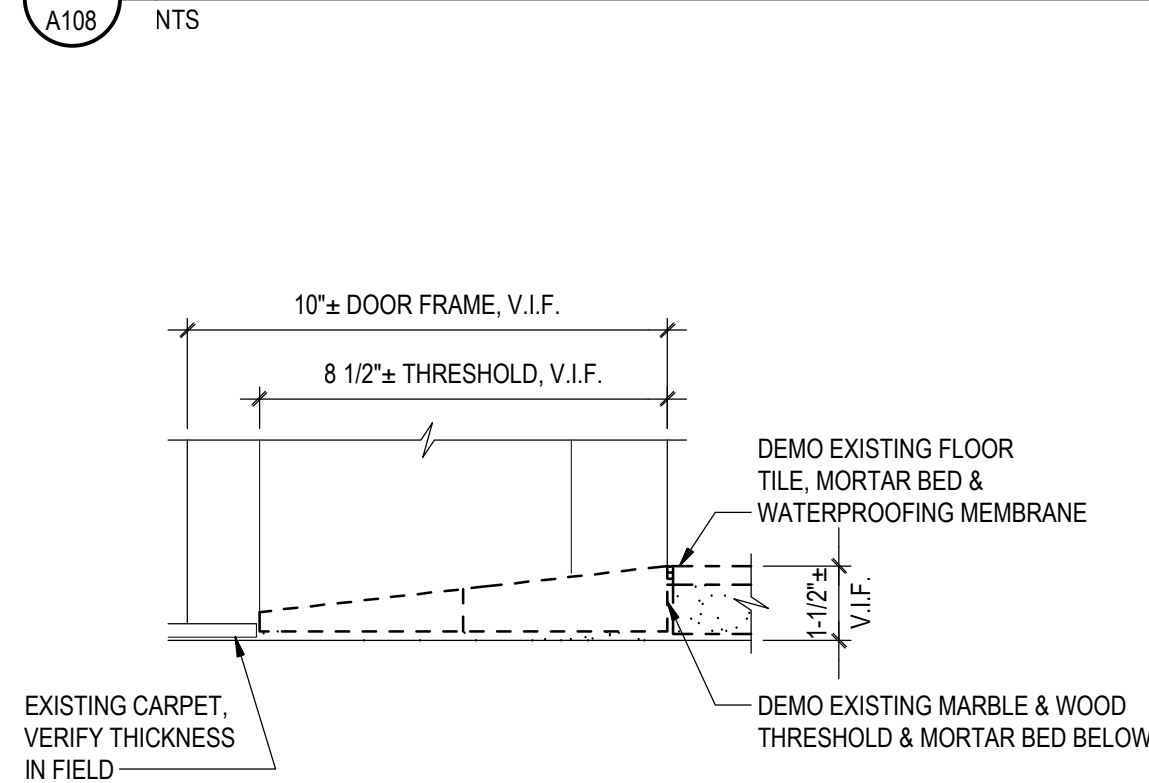
* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

Last Updated on 2012-03-23

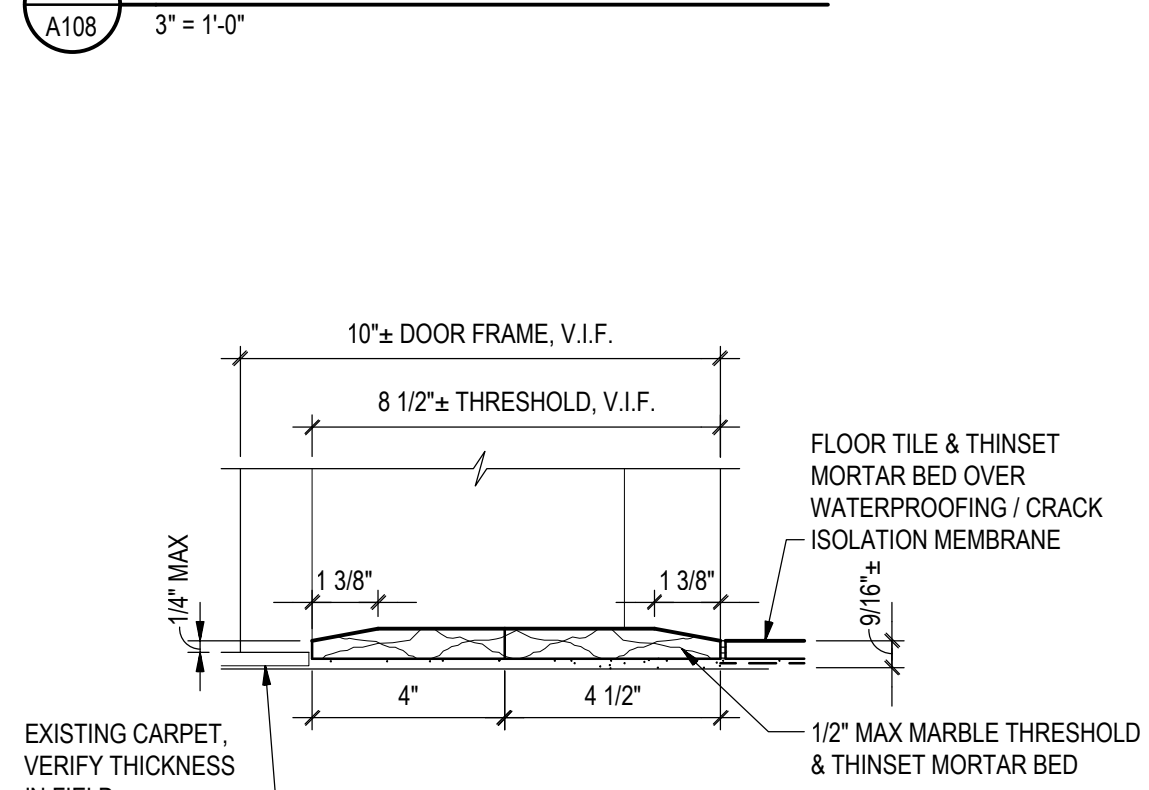
The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL's Follow-Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL's Follow-Up Service. Always look for the Mark on the product.

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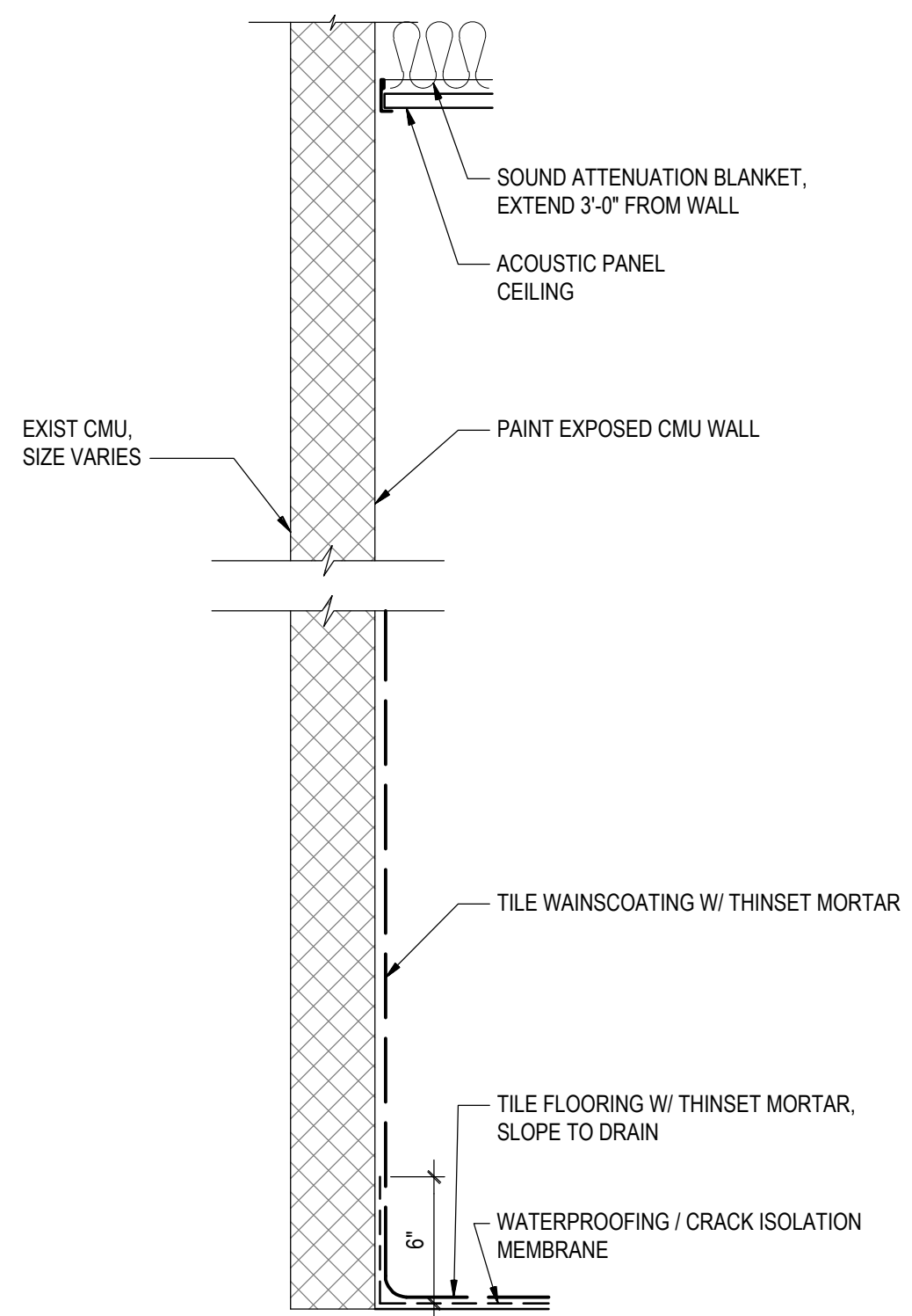
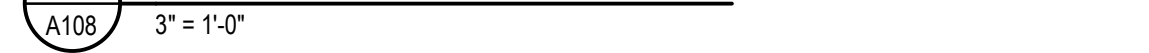
1 UL THROUGH-PENETRATION FIRESTOP SYSTEM DETAIL



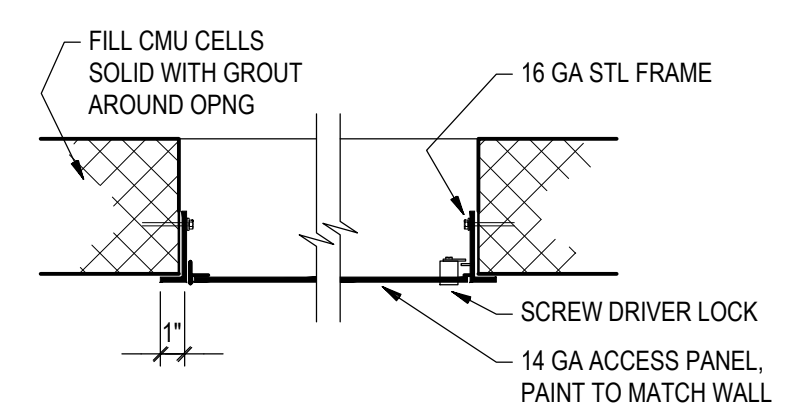
2 THRESHOLD DEMO DETAIL



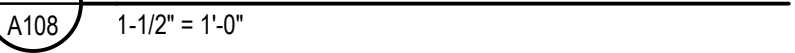
3 THRESHOLD NO. 1 DETAIL



4 PARTITION TYPE



5 WALL ACCESS PANEL DETAIL



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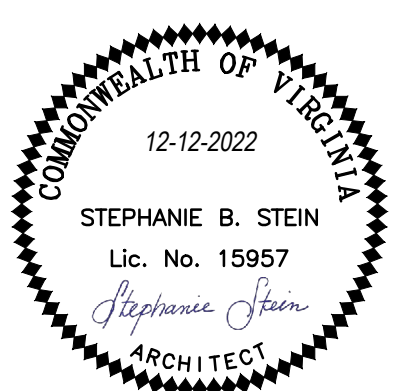
703-241-2202
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PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1
DRAWN BY SS
CHECKED BY JH
DATE 12-12-2022

DRAWING TITLE

**ARCHITECTURAL
SOUTH HILL RESIDENCY
DETAILS**

PROJECT STATUS
PERMIT SUBMISSION

DRAWING NUMBER

A108

IFB # 157389

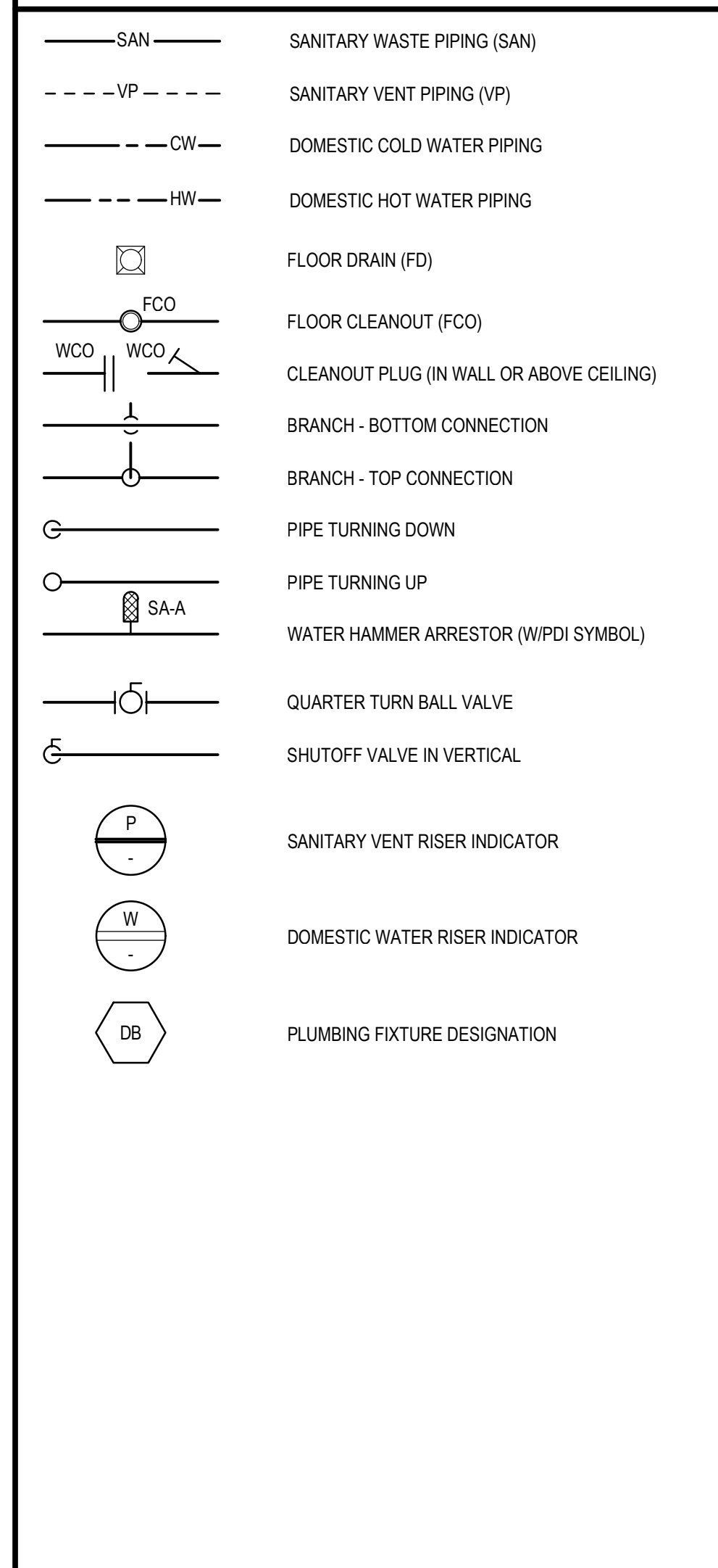
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PLUMBING FIXTURE SCHEDULE

NO.	FIXTURE	SAN.	VENT	CW	HW	COMMENTS
WC	WATER CLOSET	4"	2"	1/2"	-	TANK TYPE, PRESSURE ASSISTED, 1.1 GPF. NOTE 2 & 4.
UR	URINAL - HANDICAPPED	2"	1-1/2"	3/4"	-	0.125 GPF. MANUAL FLUSH VALVE. NOTE 2 & 4.
LAV	LAVATORY - HANDICAPPED	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE TEMPERING VALVE. SEE NOTE 1 & 3.
FD	FLOOR DRAIN	4"	2"	-	-	SQUARE FLOOR DRAIN. PROVIDE TRAP PRIMING VALVE.

- NOTES:**
- PROVIDE WATER TEMPERING VALVE CONFORMING TO ASSE 1070. ADJUST VALVE TO A MAXIMUM HOT WATER SUPPLY SETTINGS OF 109 DEG. F. SEE SPECIFICATIONS FOR MORE INFORMATION.
 - HANDICAP ACCESSIBLE FIXTURES SHALL BE LOCATED & MOUNTED IN ACCORDANCE WITH ARCHITECTURAL PLANS.
 - PROVIDE PROTECTIVE SHIELDING PIPE COVERS AND INSTALL TO MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
 - FLUSH VALVE/HANDLE SHALL BE ON THE ACCESSIBLE SIDE OF THE STALL.

PLUMBING SYMBOLS



PLUMBING ABBREVIATIONS

<p>AT AT AS AS SHOWN ABV ABOVE AFF ABOVE FINISHED FLOOR ARCH ARCHITECT AV ACID VENT AW ACID WASTE AW&V ACID WASTE & VENT BFP BACKFLOW PREVENTOR BLDG BUILDING BLW BELOW BTU BRITISH THERMAL UNIT BWV BACK WATER VALVE CA COMPRESSED AIR CFH CUBIC FEET PER HOUR CFM CUBIC FEET PER MINUTE CI CAST IRON CLG CEILING CO CLEANOUT CONC CONCRETE COND CONDENSATE CONN CONNECTION COP CLEANOUT PLUG CW COLD WATER DET DETAIL DF DRINKING FOUNTAIN DFU DRAINAGE FIXTURE UNITS DIA D DIAMETER DN DOWN DWG DRAWING (E) EXISTING EA EACH ELEV.EL ELEVATION EX EXISTING EWC ELECTRIC WATER COOLER ECO EXTERIOR CLEAN OUT FD FLOOR DRAIN FCO FLOOR CLEAN OUT FIN FINISHED FLR FLOOR FS FLOOR SINK FTG FITTING FU FIXTURE UNITS (SUPPLY) GPM GALLONS PER MINUTE GPF GALLONS PER FLUSH H HEIGHT HB HOSE BIBB HC HANDICAPPED HTR HEATER HW HOT WATER HWR HOT WATER RECIRCULATING</p>	<p>IE INVERT ELEVATION INSUL INSULATION INV INVERT LAB LABORATORY LAV LAVATORY LOW LAB COLD WATER LH&CW LAB HOT & COLD WATER LHW LAB HOT WATER LNTH LENGTH LPG LIQUEFIED PETROLEUM GAS MB MOP BASIN MBH 1,000 BTU'S PER HOUR MECH MECHANICAL MH MANHOLE MIN MINIMUM, MINUTE # NUMBER N.C. NORMALLY CLOSED NIC NOT IN CONTRACT N.O. NORMALLY OPEN OC ON CENTERS OFD OVERFLOW DRAIN OSD OPEN SITE DRAIN OW OILY WATER PRV PRESSURE REDUCING VALVE RAD REFRIGERATED AIR DRYER REC RECOVERY RECIRC RECIRCULATION REQD REQUIRED RPM REVOLUTIONS PER MINUTE RPP REDUCED PRESSURE SA SHOCK ABSORBER SAN SANITARY SF.F SQUARE FEET SH SHOWER SK SINK SS SERVICE SINK/STAINLESS STEEL SW STORM WATER TEMP TEMPERATURE THRU THROUGH TP TRAP PRIMER TOT TOTAL TYP TYPICAL V VENT VIV VALVE IN VERTICAL VP VENT PIPE VTR VENT THRU ROOF W WIDTH W/ WITH W/O WITHOUT WC WATER CLOSET WCO WALL CLEAN OUT WH WALL HYDRANT WT WEIGHT WTR WATER</p>
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PLUMBING GENERAL NOTES

- NOTES APPLY TO ALL PLUMBING DRAWINGS.
- ALL PLUMBING SERVICES AND EQUIPMENT SHALL BE FULLY COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
 - PROVIDE INDIVIDUAL SHUTOFF VALVES FOR ALL PLUMBING FIXTURES. SHUTOFF VALVES FOR EACH FIXTURE SHALL BE ACCESSIBLE FROM SPACE. REFER TO FIXTURE SCHEDULES FOR SERVICES REQUIRED.
 - PROVIDE PIPING RUNOUTS TO ALL FIXTURES. MAKE FINAL CONNECTIONS OF ALL SERVICES REQUIRED AT EACH FIXTURE. PROVIDE COUPLERS, CONNECTORS, AND ADAPTERS NECESSARY FOR FINAL CONNECTION.
 - ALL PIPING PENETRATIONS THROUGH FLOOR SLAB AND WALL SHALL BE SLEEVED. SLEEVES SHALL BE SIZED ACCORDING TO PIPE SIZE/INSULATED PIPE SIZE THRU SLAB AND WALL.
 - MAINTAIN THE INTEGRITY OF BUILDING INSULATION MATERIALS WHERE PIPING PASSES THROUGH OR RUNS WITHIN INSULATED WALLS AND ADJACENT EXPOSED INSULATION. ALL PLUMBING SHALL BE RUN WITHIN THE INSULATED ENVELOPE WITH THE EXCEPTION OF UNDER FLOOR SANITARY PIPES.
 - ALL HORIZONTAL VENT PIPING SHALL BE PITCHED FOR DRAINAGE.
 - PROVIDE MISCELLANEOUS STEEL AS REQUIRED TO PROPERLY SUPPORT SUSPENDED PIPING AND EQUIPMENT. STEEL SHALL BE SUPPORTED FROM STRUCTURAL FRAMING MEMBERS.
 - SEE SYSTEM DIAGRAMS AND DETAILS FOR ADDITIONAL VALVES AND ACCESSORIES.
 - LOCATE AND SIZE PLUMBING EQUIPMENT CONCRETE PADS AND CURBS IN ACCORDANCE WITH ACTUAL EQUIPMENT PURCHASED.
 - PROVIDE ACCESS DOORS WHERE REQUIRED FOR ACCESS TO ALL SHUTOFF VALVES, WALL CLEANOUTS, AND WATER HAMMER ARRESTERS.
 - DO NOT RUN PIPING THROUGH OR ABOVE ELECTRICAL ROOMS.
 - COORDINATE ALL ELECTRICAL REQUIREMENTS OF PLUMBING EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.
 - MAINTAIN CLEARANCE FROM ALL ELECTRICAL EQUIPMENT PER APPLICABLE CODES.
 - APPLICABLE PLUMBING CODE: VIRGINIA PLUMBING CODE-2012.



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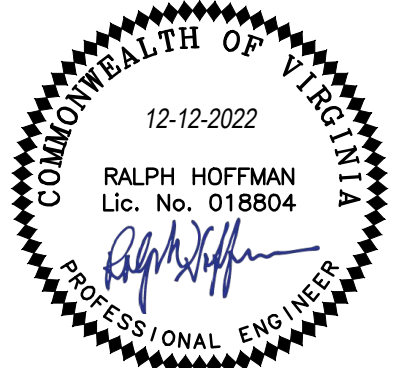
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DRAWN BY JK

CHECKED BY RH

DATE 12-12-2022

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**PLUMBING
COVER SHEET**

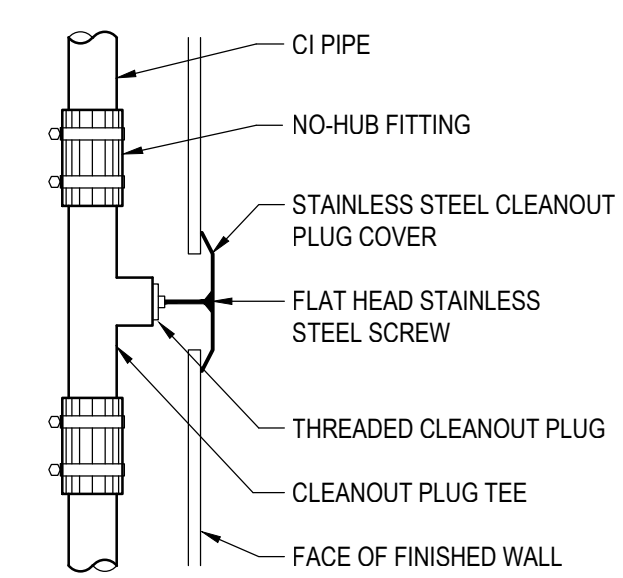
PROJECT STATUS

PERMIT SUBMISSION

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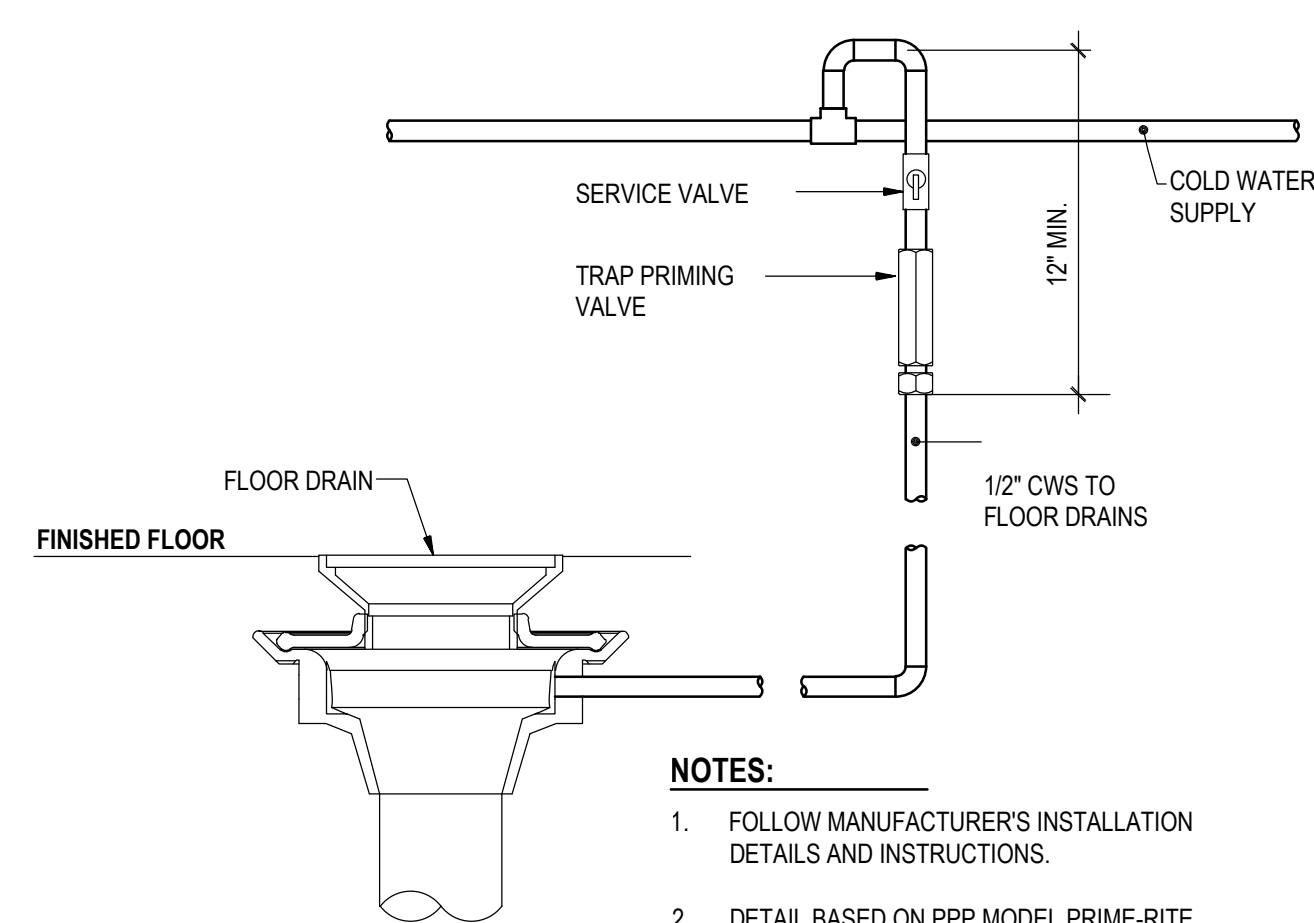
P001

IFB # 157389



NOTE:
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION ON ALL PIPE AND FITTINGS.

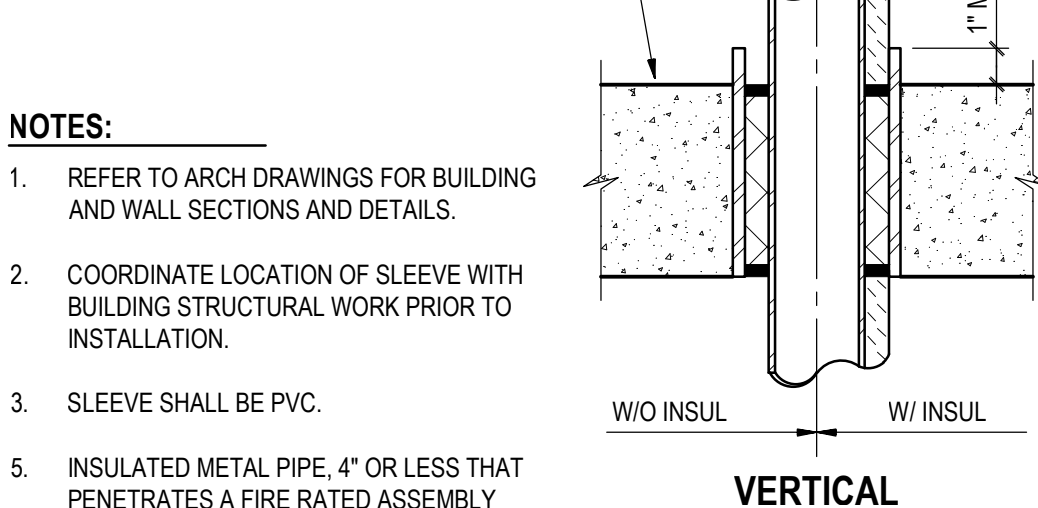
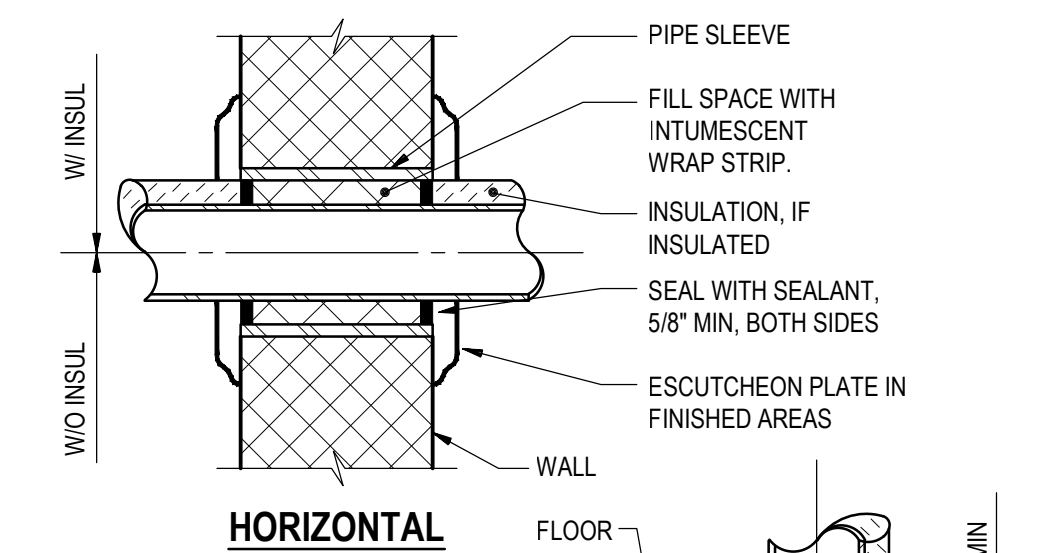
WALL CLEANOUT DETAIL
NOT TO SCALE



NOTES:

- FOLLOW MANUFACTURER'S INSTALLATION DETAILS AND INSTRUCTIONS.
- DETAIL BASED ON PPP MODEL PRIME-RITE.

TRAP PRIMER DETAIL
NOT TO SCALE



NOTES:

- REFER TO ARCH DRAWINGS FOR BUILDING AND WALL SECTIONS AND DETAILS.
- COORDINATE LOCATION OF SLEEVE WITH BUILDING STRUCTURAL WORK PRIOR TO INSTALLATION.
- SLEEVE SHALL BE PVC.
- INSULATED METAL PIPE, 4" OR LESS THAT PENETRATES A FIRE RATED ASSEMBLY SHALL FOLLOW UL SYSTEM NO. W-J-5037. SEE LS102 FOR DETAILS.
- SEALANTS ON PENETRATIONS OF 3 HOUR FIRE RATED ASSEMBLIES SHALL BE 1".

INTERIOR PIPE SLEEVE DETAIL
NOT TO SCALE

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GAA FILE SCALE: NOT TO SCALE TIME: 12/24/21



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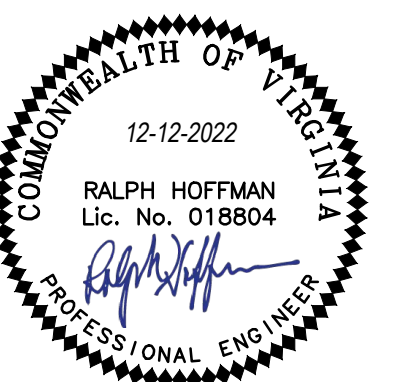
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RESTROOM
RENOVATIONS**



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DRAWN BY JK

CHECKED BY RH

DATE 12-12-2022

DRAWING TITLE

**PLUMBING
PETERSBURG - DEMOLITION &
NEW WORK FLOOR PLAN**

PROJECT STATUS

PERMIT SUBMISSION

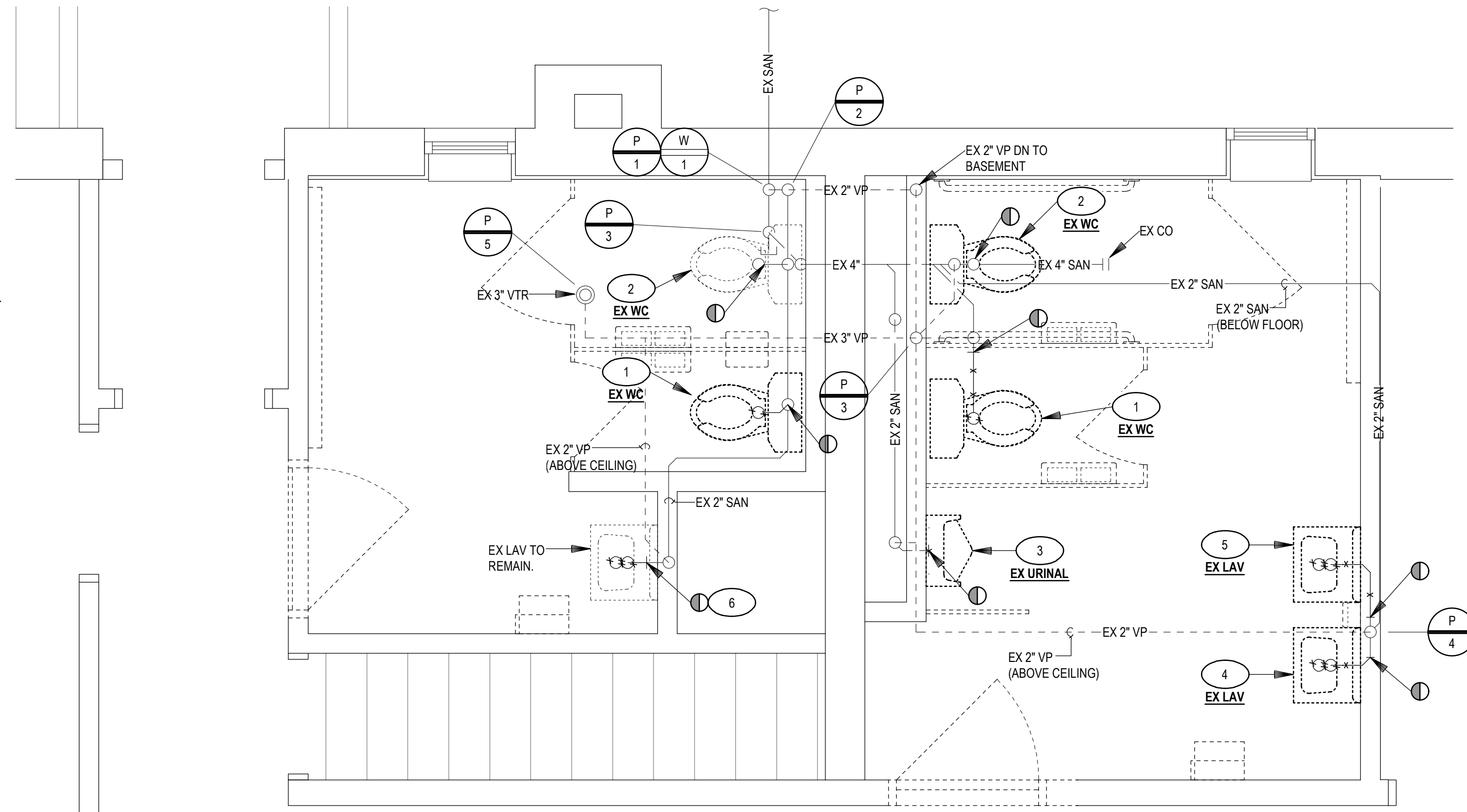
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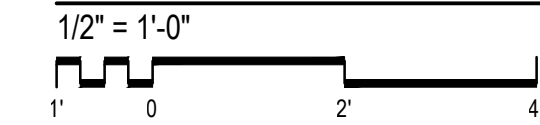
IFB # 157389

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS. REMOVE PORTION OF WASTE, VENT, DOMESTIC WATER PIPING TO POINT WHERE INDICATED. RETAIN PIPING AND REFER TO NEW WORK FOR RECONNECTION.
- 2 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. PROVIDE FLOOR CLEANOUT ON WATER CLOSET ROUGH-IN. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP.
- 3 REMOVE EXISTING URINAL, FLUSH VALVE, CARRIER, AND ALL ASSOCIATED COMPONENTS. PROVIDE WALL CLEANOUT ON URINAL ROUGH-IN. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP.
- 4 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS INCLUDING FAUCET, P-TRAP, ANGLE STOPS, AND STAINLESS STEEL WATER SUPPLIES. RETAIN WASTE, VENT, AND WATER PIPING FOR NEW INSTALLATION.
- 5 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. REMOVE SANITARY AND DOMESTIC WATER PIPING BACK TO MAIN AND CAP.
- 6 REMOVE AND RETAIN EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS FOR REINSTALLATION. REMOVE P-TRAP, ANGLE STOP, AND STAINLESS STEEL WATER SUPPLIES.

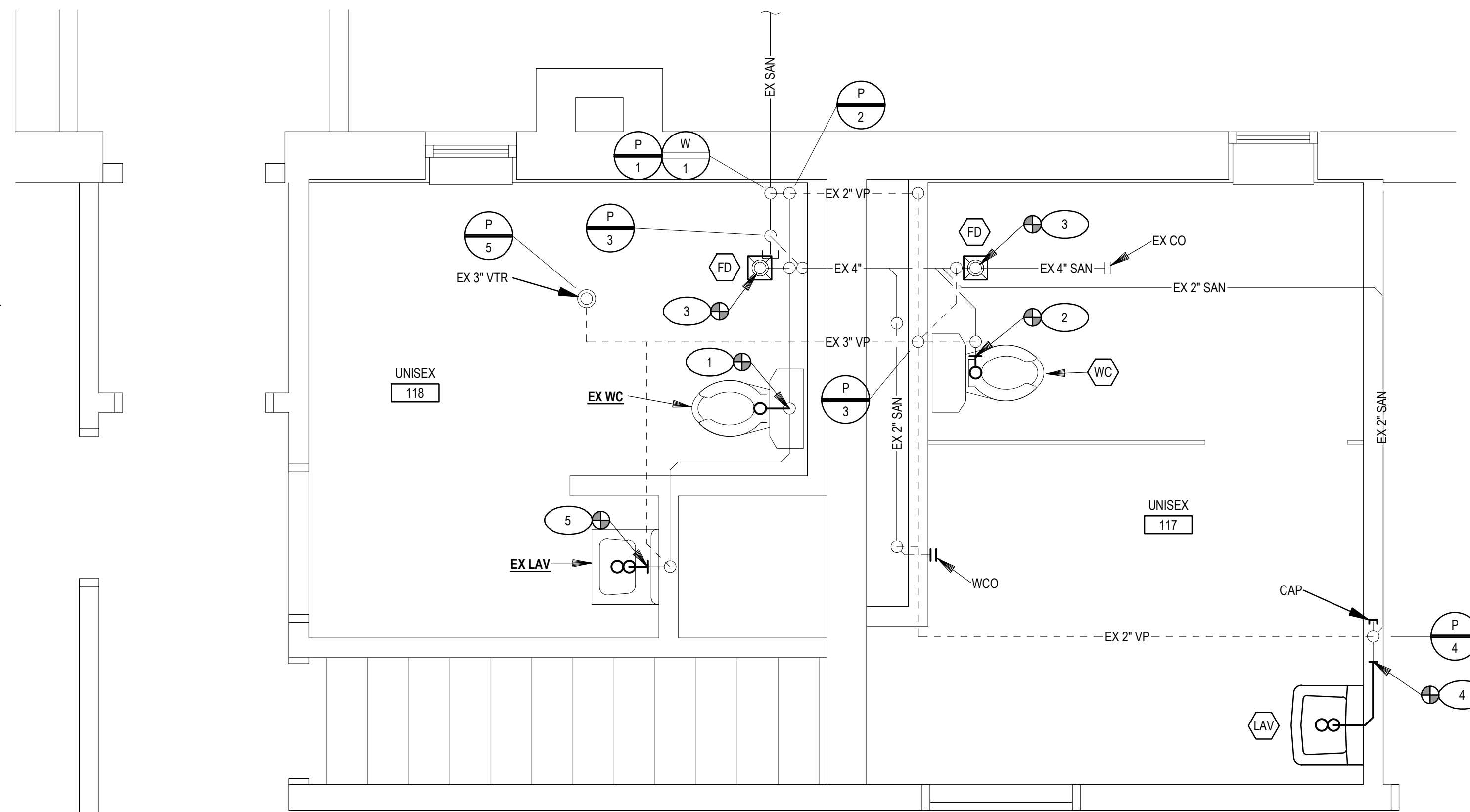


PETERSBURG - DEMOLITION FLOOR PLAN

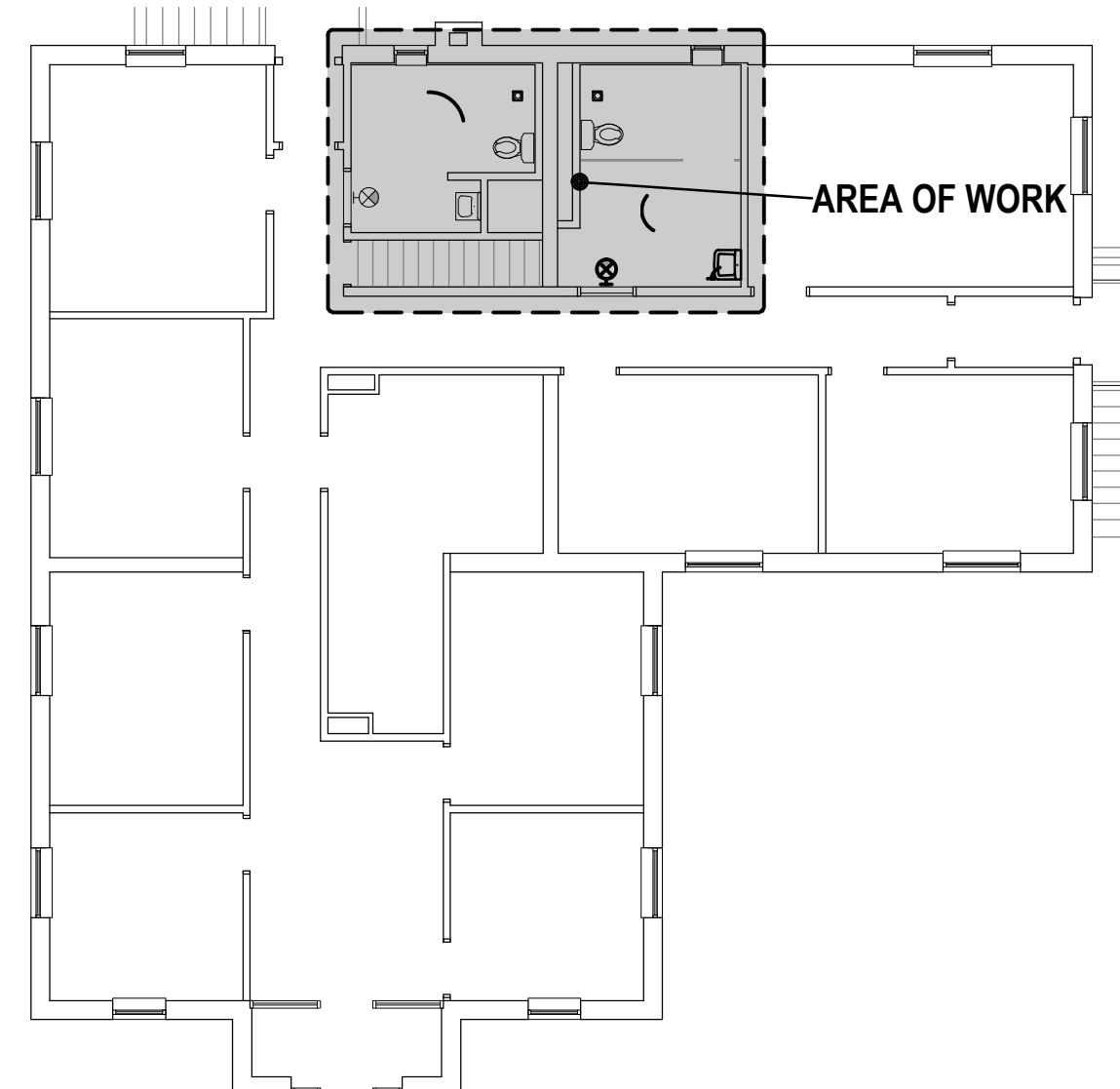


NEW WORK KEY NOTES

- 1 INSTALL EXISTING WATER CLOSET IN THE LOCATION SHOWN. PROVIDE NEW ROUGH-IN AND CONNECT TO EXISTING SANITARY PIPE. PROVIDE NEW ANGLE STOP AND STAINLESS STEEL WATER SUPPLY.
- 2 INSTALL WATER CLOSET IN THE LOCATION SHOWN. PROVIDE NEW ROUGH-IN AND CONNECT TO EXISTING SANITARY PIPE. PROVIDE NEW ANGLE STOP AND STAINLESS STEEL WATER SUPPLY.
- 3 PROVIDE FLOOR DRAIN IN THE LOCATION SHOWN.
- 4 EXTEND NEW DRAIN AND WATER PIPING TO NEW LAVATORY. PROVIDE NEW P-TRAP, ANGLE STOPS, AND STAINLESS STEEL WATER SUPPLIES.
- 5 REINSTALL EXISTING LAVATORY AND CONNECT NEW P-TRAP, ANGLE STOPS, AND STAINLESS STEEL WATER SUPPLIES.



PETERSBURG - NEW WORK FLOOR PLAN



PETERSBURG - KEY PLAN

NOT TO SCALE



GAUTHIER
ALVARADO
ASSOCIATES

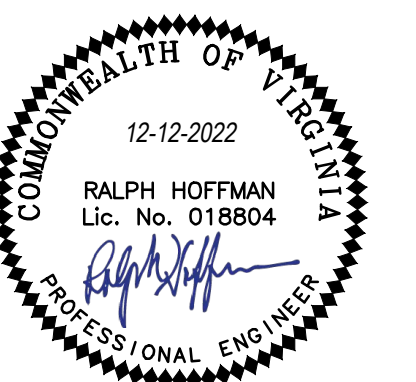
703-241-2202
WWW.GAA-AE.COM

PROJECT TITLE

VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1

DRAWN BY JK

CHECKED BY RH

DATE 12-12-2022

DRAWING TITLE

PLUMBING
**SOUTH HILL - DEMOLITION &
NEW WORK FLOOR PLAN**

PROJECT STATUS

PERMIT SUBMISSION

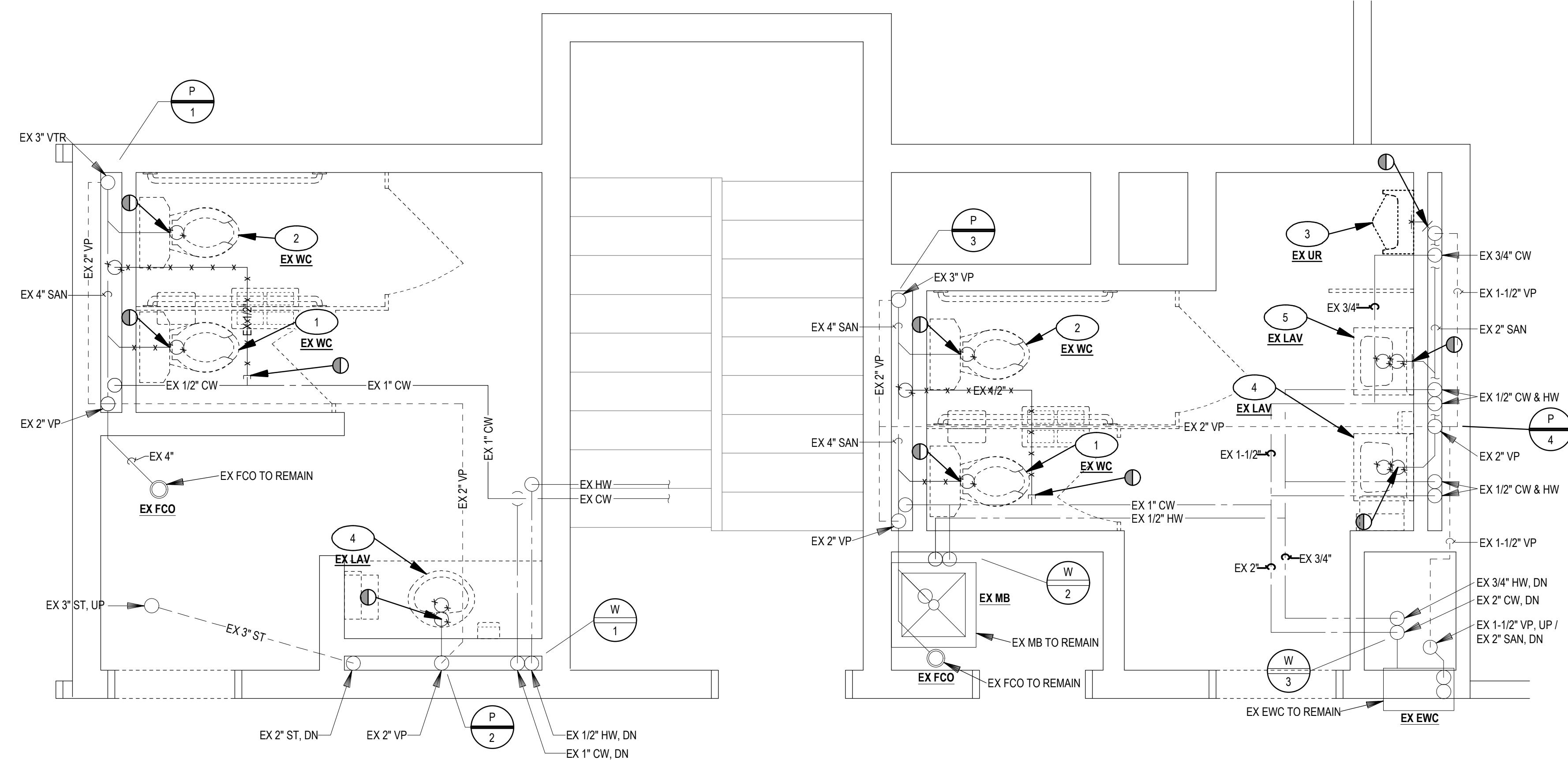
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P102

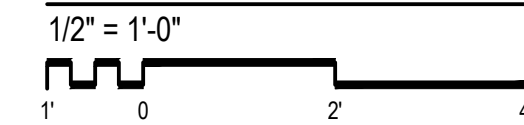
IFB # 157389

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS. REMOVE PORTION OF WASTE PIPING INCLUDING ROUGH-IN. VENT AND DOMESTIC WATER PIPING TO REMAIN. ANGLE STOP AND STAINLESS STEEL WATER SUPPLY TO BE REPLACED. REFER TO NEW WORK FOR RECONNECTION.
- 2 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. PROVIDE FLOOR NEW FLOOR DRAIN AT THE ROUGH-IN LOCATION. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP.
- 3 REMOVE EXISTING URINAL, FLUSH VALVE, CARRIER, AND ALL ASSOCIATED COMPONENTS. RETAIN ALL PIPING FOR NEW INSTALLATION.
- 4 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS INCLUDING FAUCET, P-TRAP, ANGLE STOPS, AND STAINLESS STEEL WATER SUPPLIES. RETAIN ALL PIPING FOR NEW INSTALLATION.
- 5 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. PROVIDE WALL CLEANOUT AT ROUGH-IN LOCATION. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP.

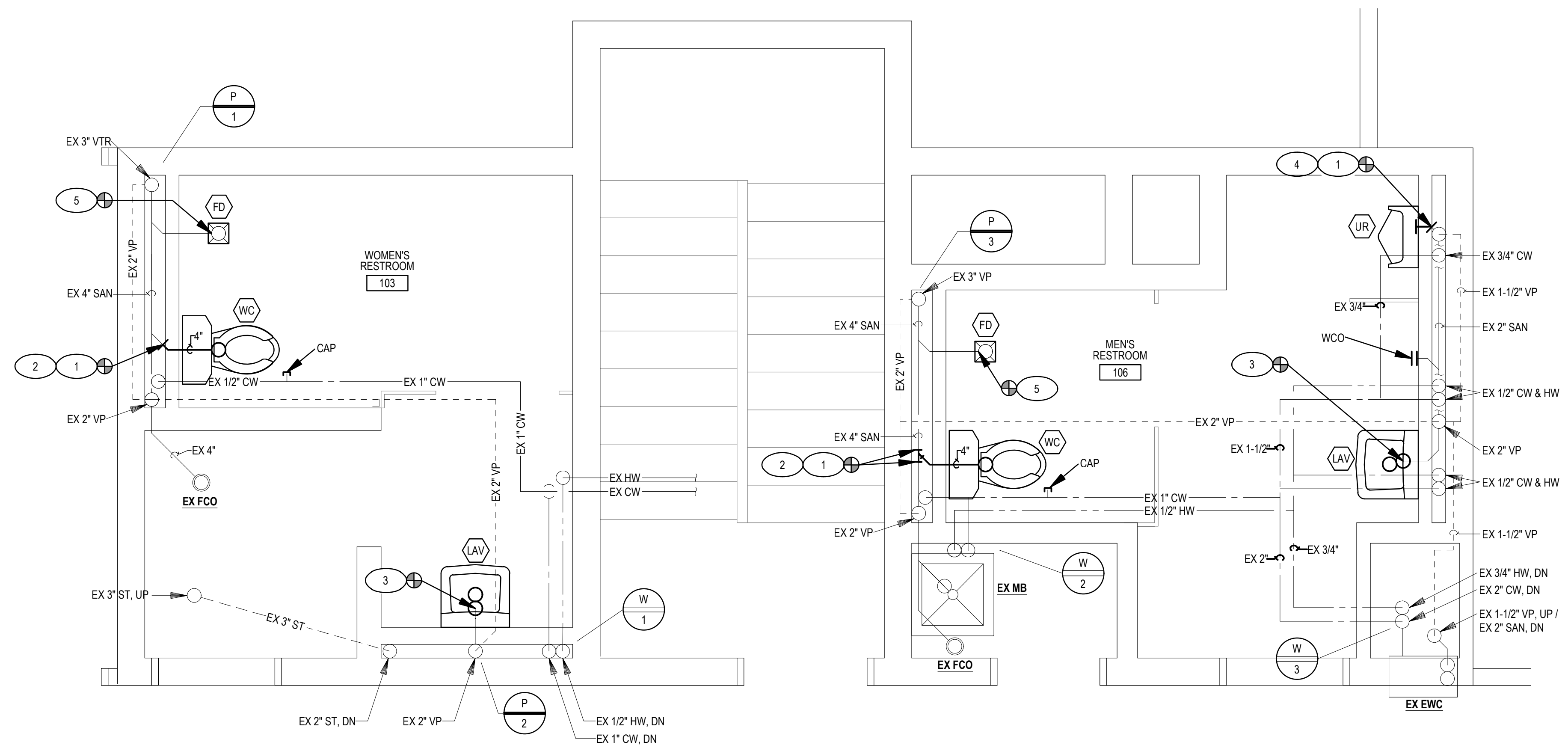


SOUTH HILL - DEMOLITION FLOOR PLAN

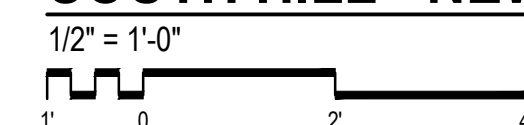


NEW WORK KEY NOTES

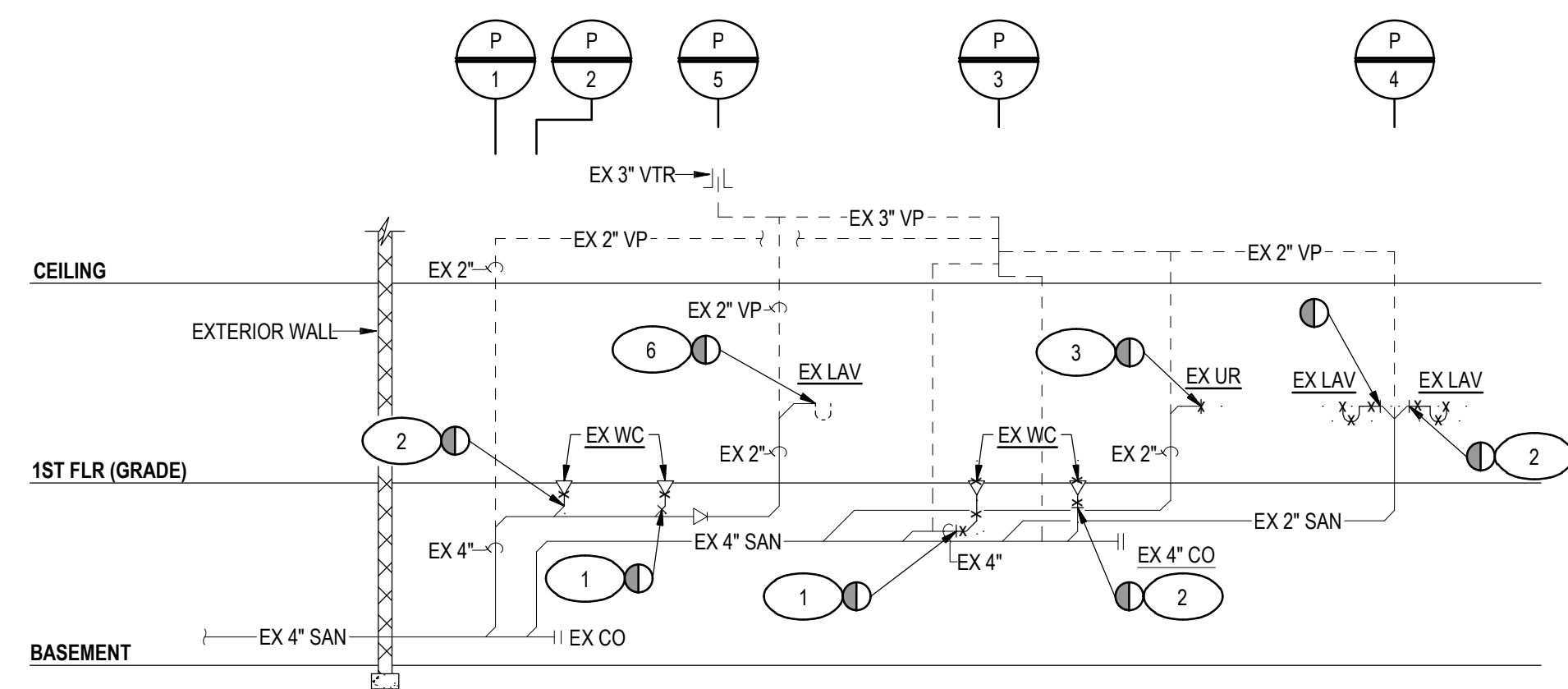
- 1 EXTEND NEW SANITARY DRAIN TO NEW ROUGH-IN LOCATION.
- 2 PROVIDE NEW ANGLE STOP AND STAINLESS STEEL WATER SUPPLY AND CONNECT TO NEW WATER CLOSET.
- 3 CONNECT NEW LAVATORY TO EXISTING SANITARY AND DOMESTIC WATER PIPING. PROVIDE NEW P-TRAP, ANGLE STOP, AND STAINLESS STEEL WATER SUPPLIES.
- 4 RECONNECT DOMESTIC WATER PIPE TO NEW FLUSH VALVE.
- 5 PROVIDE NEW FLOOR DRAIN IN THE LOCATION SHOWN. MATCH EXISTING DRAIN SIZE.



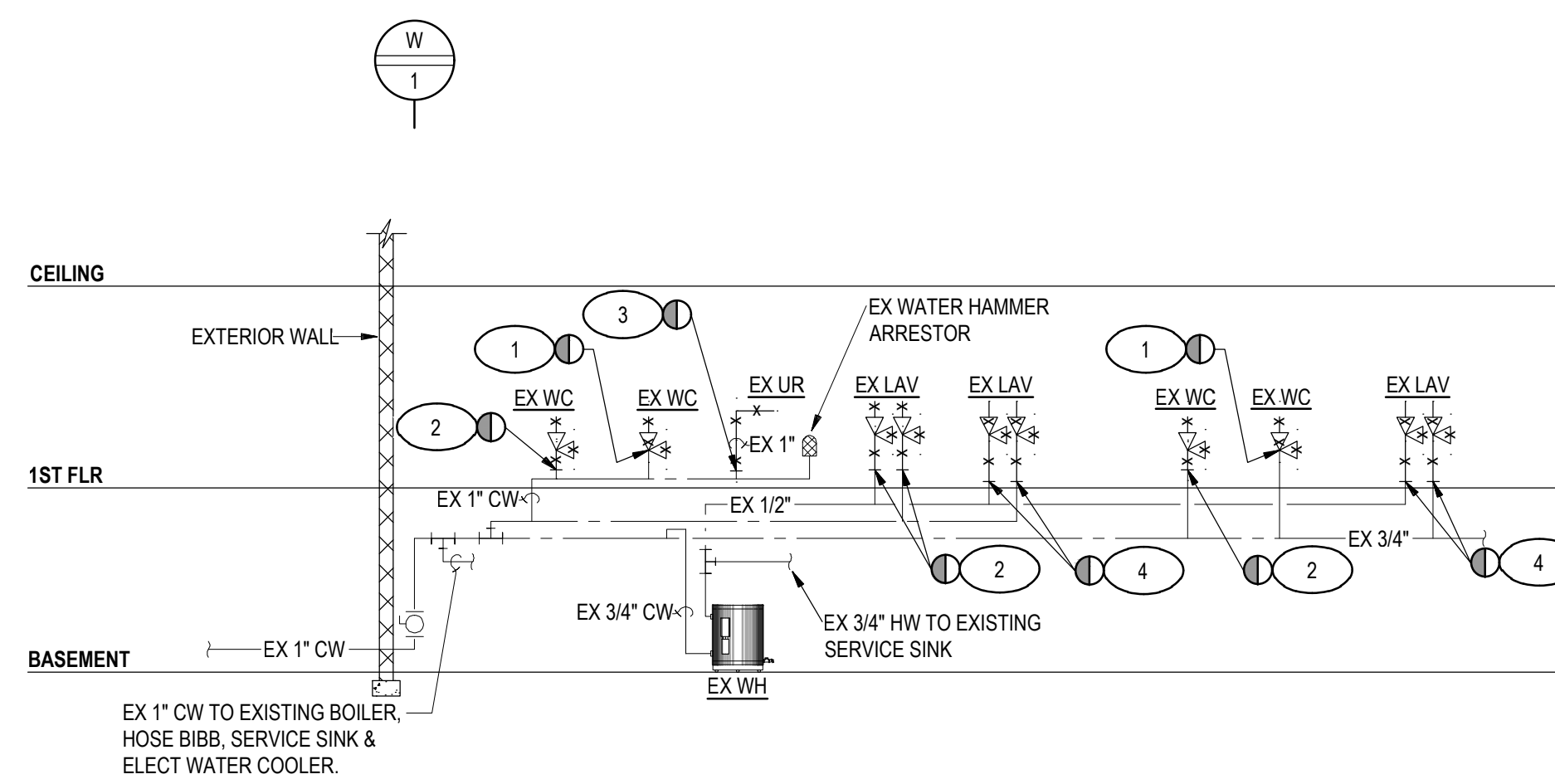
SOUTH HILL - NEW WORK FLOOR PLAN



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 FILE NAME: PETERSBURG - 12/13/22
 SCALE: NOT TO SCALE
 TIME: 12/28/20



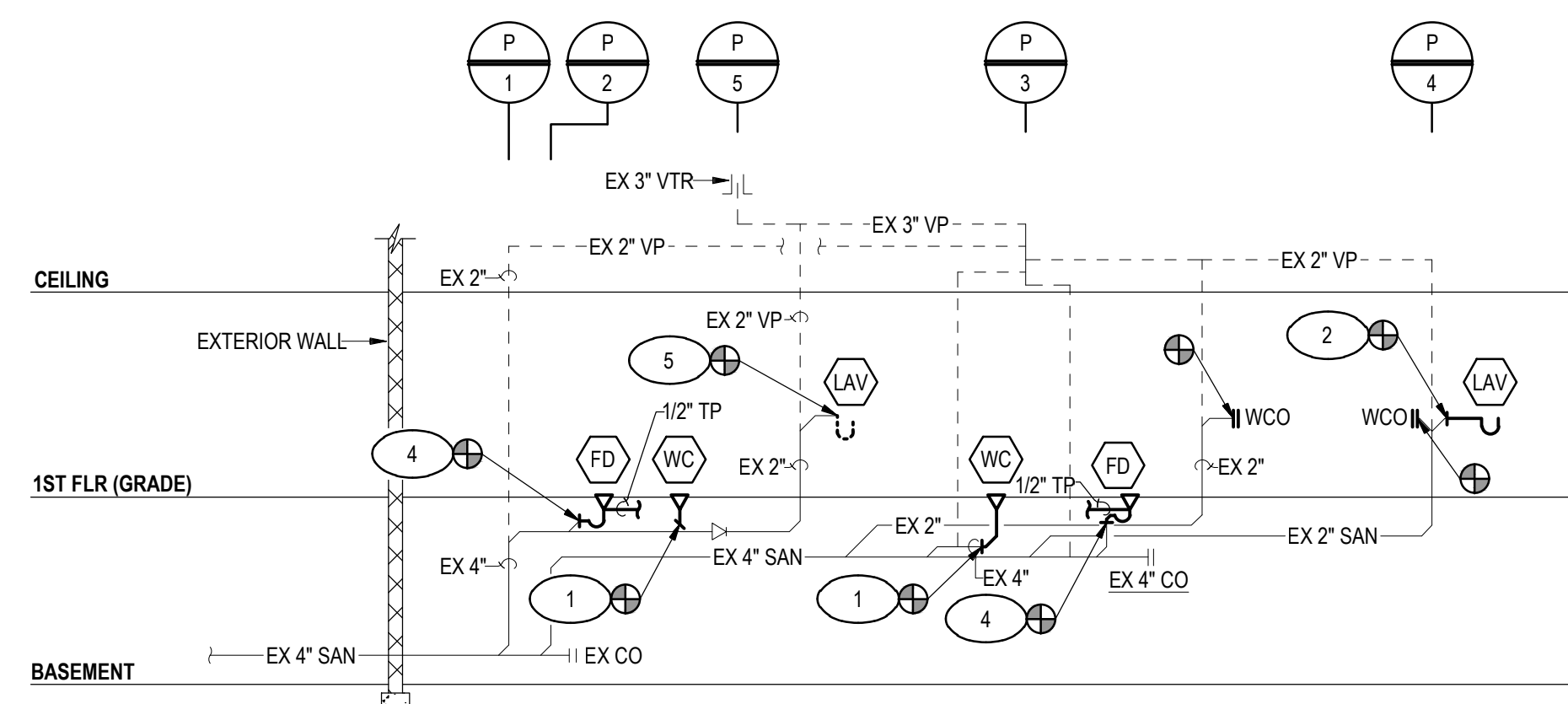
PETERSBURG - DEMOLITION SANITARY RISER DIAGRAM
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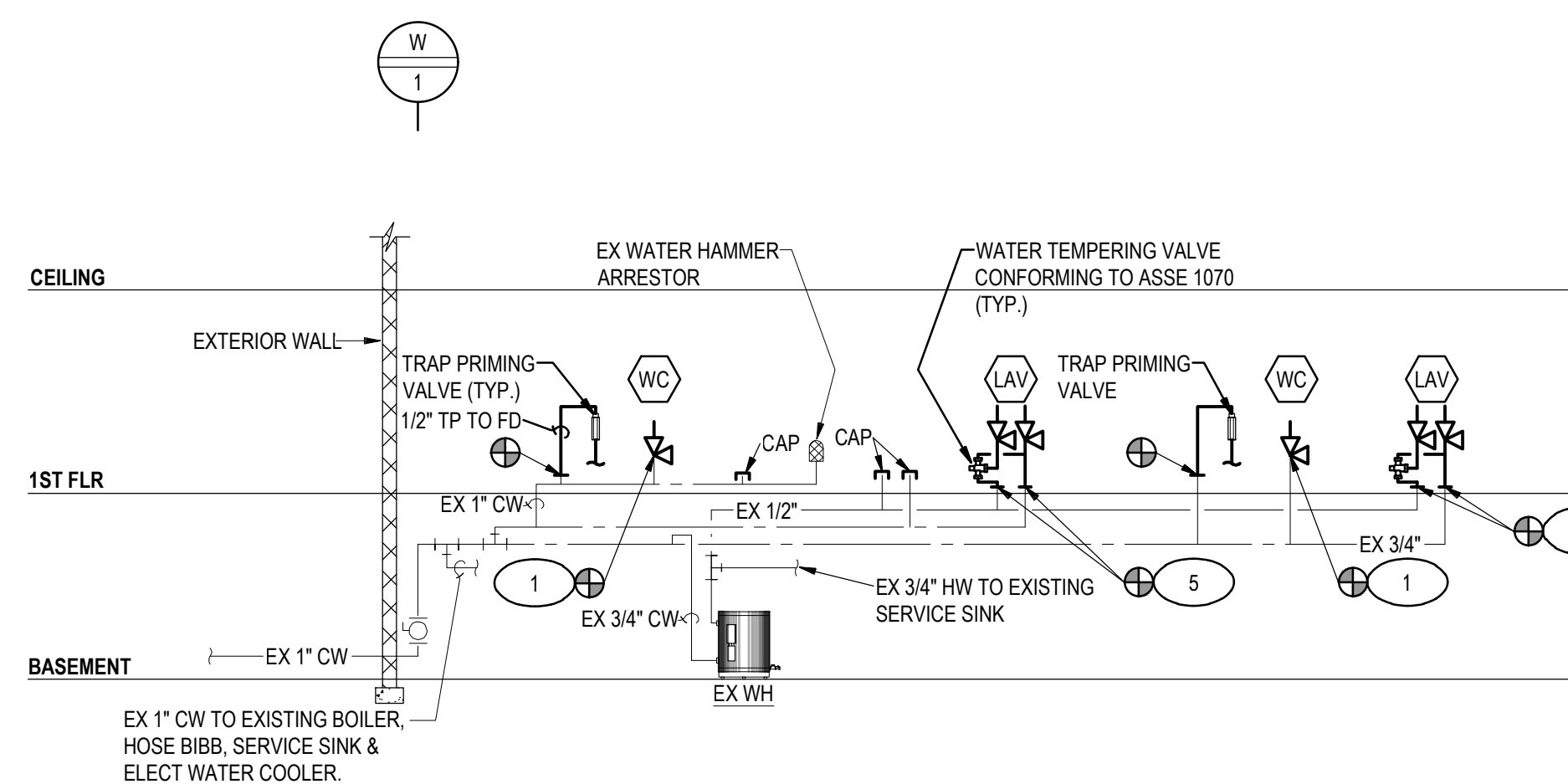
PETERSBURG - DEMOLITION WATER RISER DIAGRAM
NOT TO SCALE

DEMOLITION KEY NOTES

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- 2 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. REMOVE DOMESTIC WATER PIPING TO POINT WHERE INDICATED. RETAIN DRAIN ROUGH-IN FOR NEW INSTALLATION. VENT PIPING TO REMAIN.
- 3 REMOVING EXISTING URINAL, FLUSH VALVE, CARRIER, AND ALL ASSOCIATED COMPONENTS. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP. PROVIDE WALL CLEANOUT ON URINAL ROUGH-IN. WASTE AND VENT PIPING TO REMAIN.
- 4 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS INCLUDING FAUCET, P-TRAP, ANGLE STOPS, AND STAINLESS STEEL WATER SUPPLIES. RETAIN WASTE, VENT, AND WATER PIPING FOR NEW INSTALLATION.
- 5 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. PROVIDE WALL CLEANOUT AT ROUGH-IN LOCATION. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP.
- 6 REMOVE AND RETAIN EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS FOR REINSTALLATION. REMOVE P-TRAP, ANGLE STOP, AND STAINLESS STEEL WATER SUPPLIES.



PETERSBURG - NEW WORK SANITARY RISER DIAGRAM
NOT TO SCALE



PETERSBURG - NEW WORK WATER RISER DIAGRAM
NOT TO SCALE

NEW WORK KEY NOTES

- 1 EXTEND NEW SANITARY DRAIN TO NEW ROUGH-IN LOCATION. MATCH EXISTING DRAIN SIZE. PROVIDE NEW ANGLE STOP AND STAINLESS STEEL WATER SUPPLY.
- 2 CONNECT NEW LAVATORY TO EXISTING DRAIN AND WATER PIPING. PROVIDE NEW P-TRAP, ANGLE STOP, AND STAINLESS STEEL WATER SUPPLIES.
- 3 NOT USED.
- 4 PROVIDE NEW FLOOR DRAIN IN THE LOCATION SHOWN.
- 5 REINSTALL EXISTING LAVATORY AND CONNECT NEW P-TRAP, ANGLE STOP, AND STAINLESS STEEL WATER SUPPLIES.



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ASSOCIATES

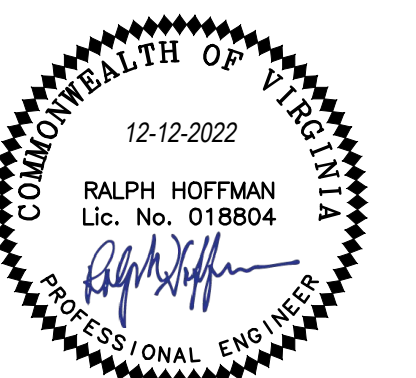
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PROJECT TITLE

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State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1

DRAWN BY JK

CHECKED BY RH

DATE 12-12-2022

DRAWING TITLE

PLUMBING
PETERSBURG - RISER
DIAGRAMS

PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

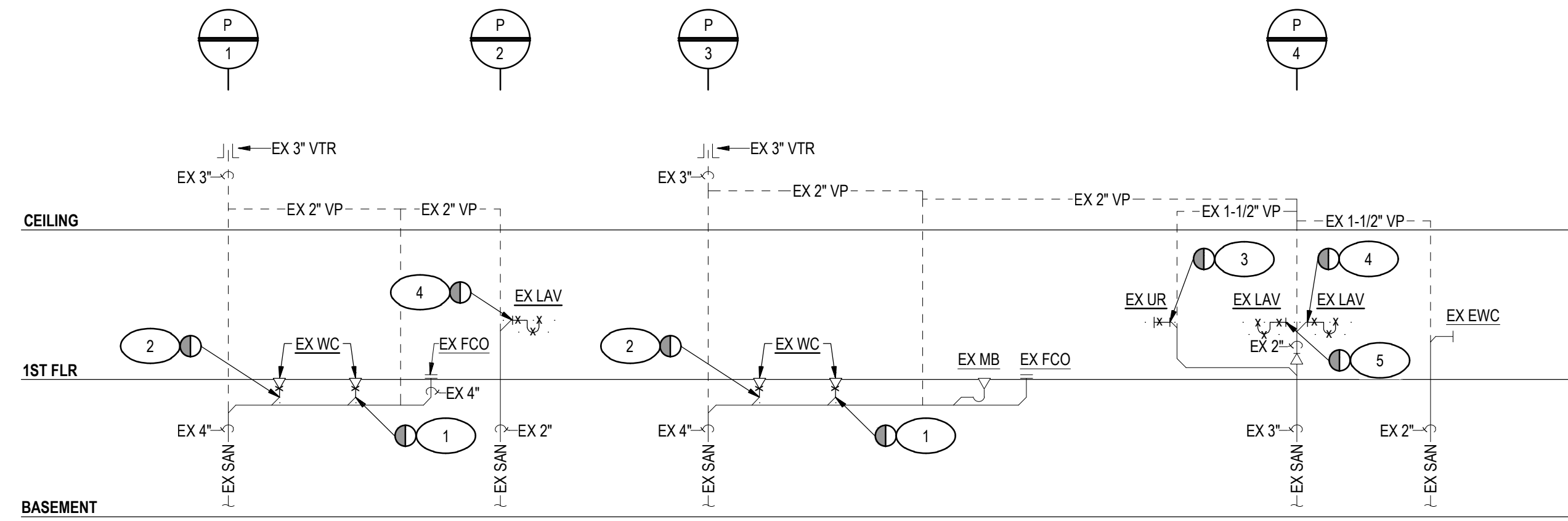
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IFB # 157389

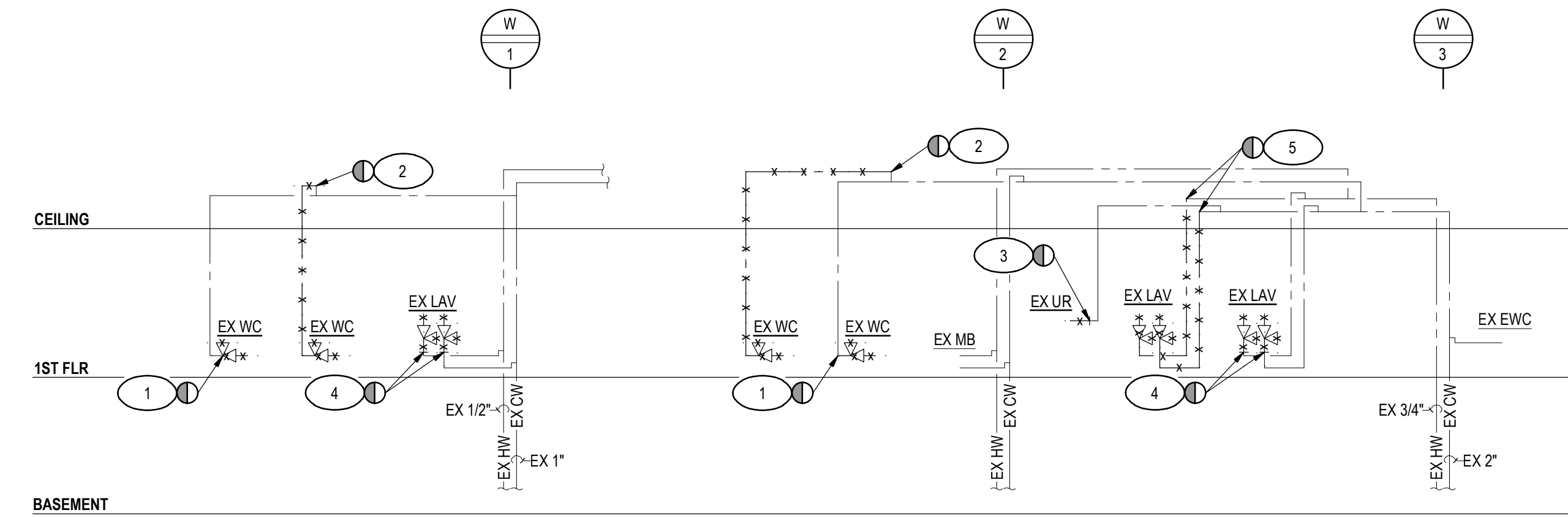


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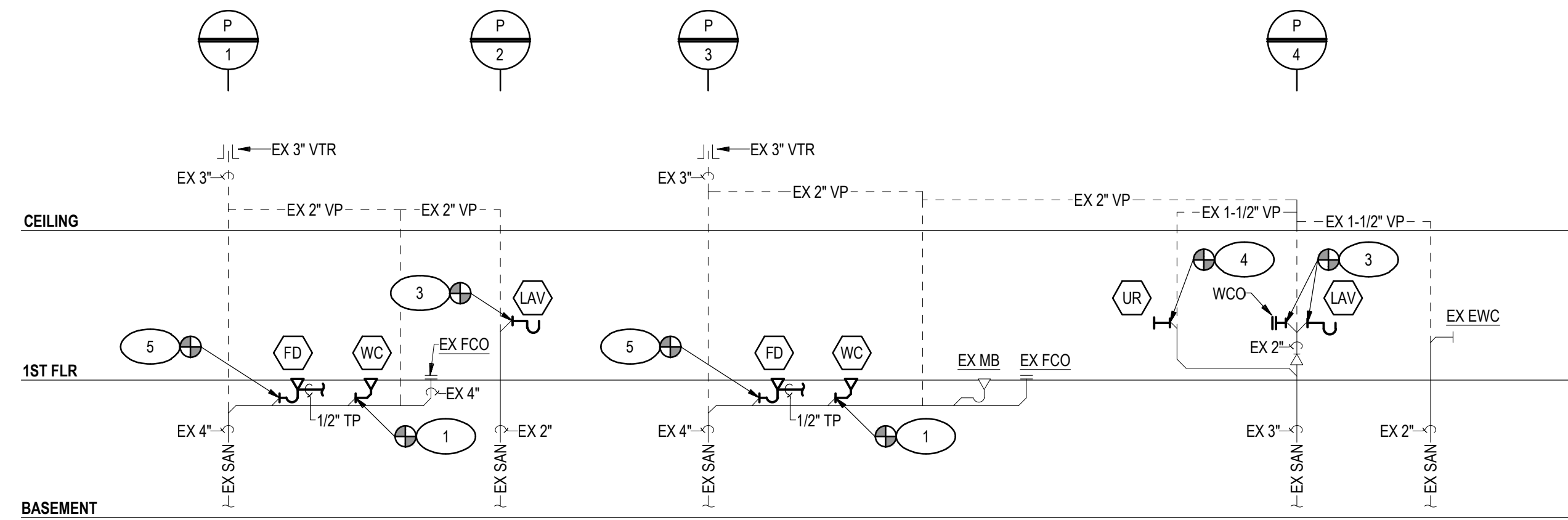
SOUTH HILL - DEMOLITION SANITARY RISER DIAGRAM
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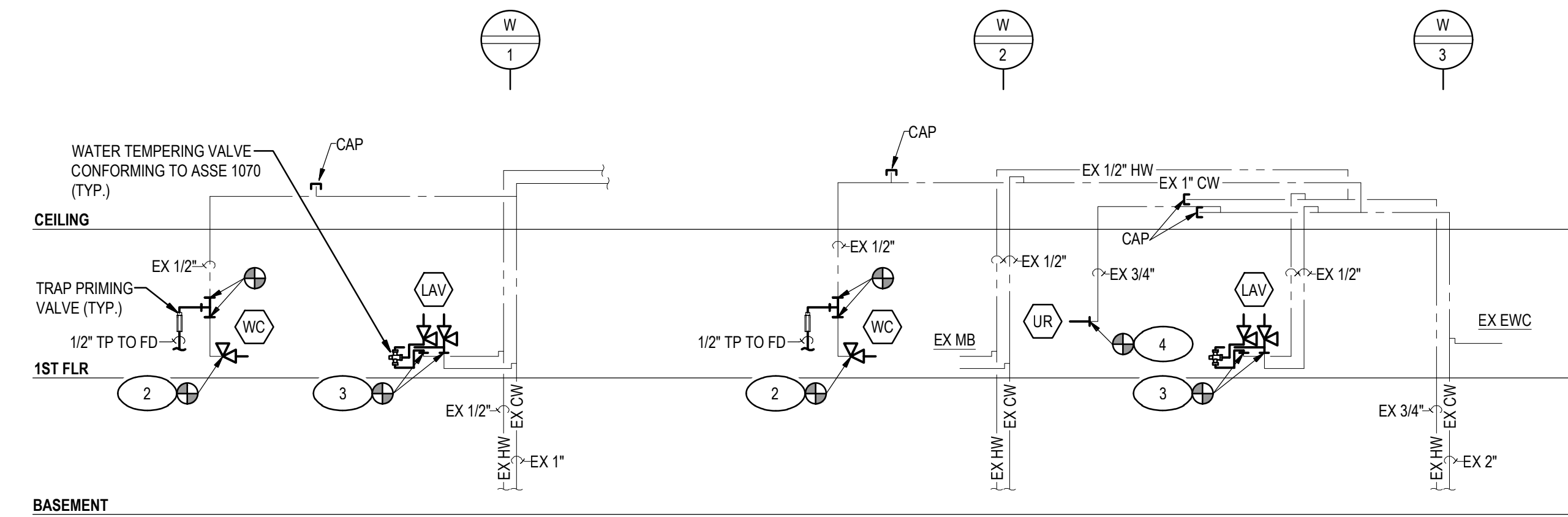
SOUTH HILL - DEMOLITION WATER RISER DIAGRAM
NOT TO SCALE

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS. REMOVE PORTION OF WASTE PIPING INCLUDING ROUGH-IN. VENT AND DOMESTIC WATER PIPING TO REMAIN. ANGLE STOP AND STAINLESS STEEL WATER SUPPLY TO BE REPLACED.
- 2 REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP. VENT PIPING TO REMAIN.
- 3 REMOVING EXISTING URINAL, FLUSH VALVE, CARRIER, AND ALL ASSOCIATED COMPONENTS. RETAIN WASTE, VENT, AND WATER PIPING FOR NEW INSTALLATION.
- 4 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS INCLUDING FAUCET, P-TRAP, ANGLE STOPS, AND STAINLESS STEEL WATER SUPPLIES. RETAIN WASTE, VENT, AND WATER PIPING FOR NEW INSTALLATION.
- 5 REMOVE EXISTING LAVATORY AND ALL ASSOCIATED COMPONENTS IN ITS ENTIRETY. PROVIDE WALL CLEANOUT AT ROUGH-IN LOCATION. REMOVE DOMESTIC WATER PIPING BACK TO MAIN AND CAP.



SOUTH HILL - NEW WORK SANITARY RISER DIAGRAM
NOT TO SCALE



SOUTH HILL - NEW WORK WATER RISER DIAGRAM
NOT TO SCALE

NEW WORK KEY NOTES

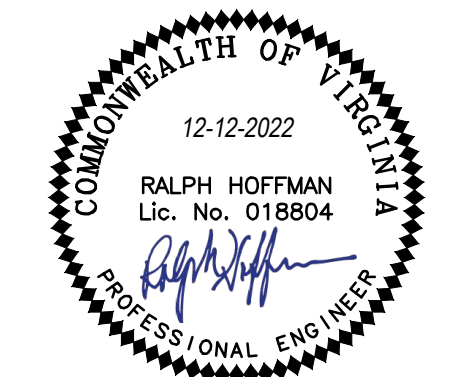
- 1 EXTEND NEW SANITARY DRAIN TO NEW ROUGH-IN LOCATION. MATCH EXISTING DRAIN SIZE.
- 2 PROVIDE NEW ANGLE STOP AND STAINLESS STEEL WATER SUPPLY AND CONNECT TO NEW WATER CLOSET.
- 3 CONNECT NEW LAVATORY TO EXISTING DRAIN AND WATER PIPING. PROVIDE NEW P-TRAP, ANGLE STOP, AND STAINLESS STEEL WATER SUPPLIES.
- 4 RECONNECT DRAIN AND DOMESTIC WATER PIPING TO URINAL.
- 5 PROVIDE NEW FLOOR DRAIN IN THE LOCATION SHOWN.

PROJECT TITLE

VIRGINIA DEPARTMENT OF
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State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



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DRAWING TITLE

PLUMBING
SOUTH HILL - RISER DIAGRAMS

PROJECT STATUS

PERMIT SUBMISSION

DRAWING NUMBER

P302

IFB # 157389

MECHANICAL ABBREVIATIONS

JL	ANGLE	MAX	MAXIMUM
@	AT		
ABV	ABOVE	MBH	THOUSAND BTU PER HOUR
AD	ACCESS DOOR	MECH	MECHANICAL
AFD	ADJUSTABLE FREQUENCY DRIVE	MER	MECHANICAL EQUIPMENT ROOM
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
AFMS	AIRFLOW METERING STATION		
AHU	AIR HANDLING UNIT	MHP	MOTOR HORSEPOWER
ARCH	ARCHITECT	MOD	MOTOR OPERATED DAMPER
A.S.	AS SHOWN	MUW	MAKE UP WATER
AUX	AUXILIARY		
		N/A	NOT APPLICABLE
BD	BACKDRAFT DAMPER	NC	NOISE CRITERION, NORMALLY CLOSED
BFP	BACKFLOW PREVENTER	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO.#	NUMBER, NORMALLY OPEN
BLW	BELOW	NTS	NOT TO SCALE
BOT	BOTTOM		
BTU	BRITISH THERMAL UNIT	O	OPEN
BV	BRICK VENT	OA	OUTSIDE AIR
BWV	BACK WATER VALVE	OAC	OPEN ABOVE CEILING (IN WALL)
		OAL	OUTSIDE AIR INTAKE LOUVER
CD	CEILING DIFFUSER	OC	ON CENTER
CEF	CEILING EXHAUST FAN	OBD	OPPOSED BLADE DAMPER
CFH	CUBIC FEET PER HOUR	OED	OPEN END DUCT W/ 12" WIRE MESH
CFM,CJM	CUBIC FEET PER MINUTE	OD	OUTSIDE DIAMETER
CG	CEILING GRILLE		
CI	CAST IRON	PCF	POUNDS PER CUBIC FOOT
CLG	CEILING	PE	PIPE ENCLOSURE
CO	CLEANOUT PLUG	PRESS.	PRESSURE
CONC	CONCRETE	PRV	PRESSURE REDUCING VALVE
COND	CONDENSATE	PSF	POUNDS PER SQUARE FOOT
CONN	CONNECTION	PSI	POUNDS PER SQUARE INCH
CR	CEILING RETURN	PSIG	POUNDS PER SQUARE INCH GAUGE
CUH	CABINET UNIT HEATER		
CV	CONTROL VALVE		
		R	RADIUS; RISER
dB	DECIBELS	REC	RECOVERY
DB	DRY BULB	REG	REGISTER
DBL	DOUBLE	REQD	REQUIRED
DDC	DIRECT DIGITAL CONTROL	RPM	REVOLUTIONS PER MINUTE
DESIG	DESIGNATION	RR	RETURN REGISTER
DET	DETAIL		
DIA	DIAMETER	SA	SHOCK ABSORBER
DIM	DIMENSION	SD	DUCT SMOKE DETECTOR
DN	DOWN	SF	SQUARE FEET
DWG	DRAWING	SF	SUPPLY FAN
		SR	SUPPLY REGISTER
EA	EACH	SS	STAINLESS STEEL
EAT	ENTERING AIR TEMPERATURE		
EER	ENERGY EFFICIENCY RATIO	TEMP	TEMPERATURE; TEMPORARY
ELEV	ELEVATION	TG	TRANSFER GRILLE
EQ	EQUAL	TJW	THRU JOIST WEB
EQUIP.	EQUIPMENT	TOC	TOP OF CONCRETE TYPICAL
ER	EXHAUST REGISTER	TU	TERMINAL UNIT
ESP	EXTERNAL STATIC PRESSURE		
EWT	ENTERING WATER TEMPERATURE	UBJ	UP BETWEEN JOIST SPACE
EXH	EXHAUST	UH	UNIT HEATER
EX	EXISTING	UKN	UNKNOWN
EF	EXHAUST FAN	UTR	UP THRU ROOF
		UV	UNIT VENTILATION
F	FAHRENHEIT		
FC	FLEXIBLE CONNECTION	V	VENT
FCU	FAN COIL UNIT	VAV	VARIABLE AIR VOLUME TERMINAL
FD	FIRE DAMPER, FLOOR DRAIN	VENT	VENTILATION
FIN.	FINISH (ED)	VFD	VARIABLE FREQUENCY DRIVE
FL	FLOOR; FULL LENGTH	VV	VALVE IN VERTICAL
FLEX.	FLEXIBLE	VP	VENT PIPE
FPM	FEET PER MINUTE	VTR	VENT THRU ROOF
FPT	FAN POWERED TERMINAL UNIT		
FT	FOOT, FEET		
FTG	FITTING		
FTR	FLUE THRU ROOF		
FV	FACE VELOCITY		
G	GUIDE		
GAL	GALLON		
GPM	GALLONS PER MINUTE		
		W	WIDTH
H	HEIGHT	W/	WITH
HTR	HEATER	W/O	WITHOUT
HOA	HAND-ON-AUTOMATIC	WB	WET BULB
HPG	HIGH PRESSURE GAS	WCO	WALL CLEANOUT
HP	HORSEPOWER	WF	WALL FIN
HVAC	HEATING, VENTILATING & AIR CONDITIONING	WG	WATER GAUGE
		WT	WEIGHT
		WTR,H,2-0	WATER
IN.	INCH (ES)		
INV	INVERT		
LAT	LEAVING AIR TEMPERATURE		
LAV	LAVATORY		
LBS	POUNDS		
LBS/HR	POUNDS PER HOUR		
LG	LONG LENGTH		
LPG	LIQUID PETROLEUM GAS		

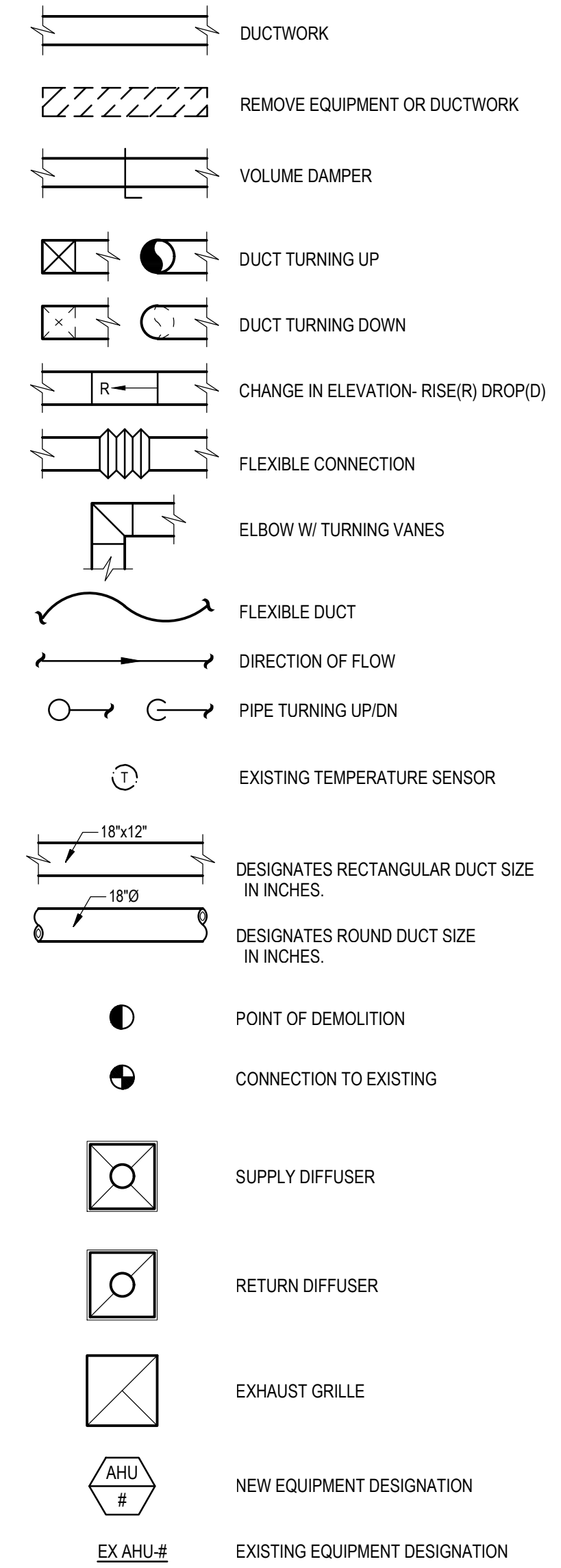
MECHANICAL NOTES:

- GENERAL
 - THESE DRAWINGS ARE SCHEMATIC AND INTENDED TO DEPICT THE GENERAL LOCATION OF HVAC SYSTEM COMPONENTS IN ACCORDANCE WITH DRAWINGS, NOTES, AND THE INTENT OF THE DESIGN.
 - DRAWINGS ARE SCHEMATIC. THIS CONTRACTOR IS RESPONSIBLE TO COORDINATE HIS WORK WITH ACTUAL FIELD CONDITIONS AND OTHER TRADES.
 - THE INTENT OF THESE DRAWINGS IS TO PROVIDE COMPLETE AND PROPERLY FUNCTIONING HVAC SYSTEMS. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACHIEVE SUCH ENDS.
 - CODES AND PERMITS: COMPLY WITH CODES, LAWS AND ORDINANCES IN FORCE AT BUILDING. SECURE AND PAY FOR PERMITS AND INSPECTION FEES REQUIRED FOR FULFILLING REQUIREMENTS OF THESE SPECIFICATIONS.
 - SUBSTITUTION OF EQUIPMENT AND MATERIALS: DRAWINGS ARE BASED UPON THE MANUFACTURER LISTED FIRST IN THE SCHEDULES. WHERE ANY OTHER EQUIPMENT IS USED, THIS CONTRACTOR WILL BE RESPONSIBLE FOR ANY CHANGES IN THE PLUMBING AND HVAC SYSTEM IN THE BUILDING DUE TO PHYSICAL LIMITATIONS OF SUCH EQUIPMENT, AND SHALL PAY FOR ALL GENERAL, STRUCTURAL, MECHANICAL AND ELECTRICAL CHANGES REQUIRED BY THE SUBSTITUTION. THIS CONTRACTOR SHALL INFORM ALL CONTRACTORS OF ANY CHANGES BEFORE THEY BEGIN THEIR RESPECTIVE WORK.
 - SLEEVES, OPENINGS, CUTTING AND DRILLING: CONTRACTOR SHALL PROVIDE AND PATCH ALL DUCT AND PIPING OPENINGS REQUIRED IN NEW CONSTRUCTION. MAKE ARRANGEMENTS WITH ALL OTHER CONTRACTORS FOR SPECIAL SLEEVES, FRAMING, SPACING AND CHASES. PROVIDE OPENINGS IN BUILDING CONSTRUCTION FOR PASSAGE OF PIPING AND DUCTWORK. DO NOT PENETRATE STRUCTURAL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL OF BUILDING ENGINEER.
 - ALL NECESSARY ALLOWANCES AND PROVISIONS SHALL BE MADE BY THIS CONTRACTOR FOR BEAMS, COLUMNS OR OTHER OBSTRUCTIONS OF THE BUILDING OR THE WORK OF OTHER CONTRACTORS. WHETHER OR NOT SAME IS INDICATED. WHERE NECESSARY TO AVOID OBSTRUCTIONS THE DUCTS SHALL BE TRANSFORMED, DIVIDED, OFFSET, RAISED OR LOWERED WITH THE REQUIRED FREE AREA BEING MAINTAINED.
 - THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HVAC AND PLUMBING WORK WITH EXISTING CONDITIONS AND THE WORK OF OTHER TRADES. MINOR DEVIATIONS FROM THE PLANS MAY BE MADE TO AVOID MINOR CONFLICTS. WHEN MAJOR CONFLICTS ARE APPARENT, THE OWNER SHALL BE ADVISED IMMEDIATELY, AND AFFECTED WORK SHALL NOT BE INSTALLED UNTIL THE CONFLICT HAS BEEN RESOLVED.
 - THE CONTRACTOR SHALL THOROUGHLY CLEAN HIS WORK AREA DAILY OR AS REQUESTED BY THE GENERAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL ALSO REMOVE ALL HIS TRASH AND DEBRIS AFTER THE COMPLETION OF THE WORK.
- ELECTRICAL WORK
 - ALL LINE VOLTAGE WIRING FOR HVAC EQUIPMENT, FACTORY-MOUNTED CONTROL PANELS AND TO INDIVIDUALLY MOUNTED STARTERS, AND FROM STARTERS TO MOTORS, SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR. THIS CONTRACTOR SHALL TURN OVER ALL INDIVIDUALLY MOUNTED STARTERS AND DISCONNECT SWITCHES FURNISHED UNDER THIS CONTRACT TO THE ELECTRICAL CONTRACTOR FOR INSTALLATION BY HIM.
 - ALL LINE, OR LOW VOLTAGE, WIRING REQUIRED FOR TEMPERATURE CONTROL SHALL BE PROVIDED BY HVAC CONTRACTOR.
 - WIRING AND ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE AND LOCAL REQUIREMENT.
 - TESTS
 - ADJUST ALL FAN DRIVES, AND AIR DISTRIBUTION DEVICES TO PROVIDE THE REQUIRED AIR QUANTITIES AS SHOWN ON THE DRAWINGS WITHIN +10% TO -5%
 - DUCTWORK
 - PROVIDE AIR TURNING DEVICES IN DUCTWORK AT ANY CHANGES IN DIRECTION OF 30° OR GREATER.
 - ALL DUCTWORK SHALL BE SUSPENDED FROM THE BUILDING STRUCTURE IN ACCORDANCE WITH THE SMACNA DUCT CONSTRUCTION STANDARDS.
 - DIMENSIONS SHOWN ON DRAWINGS ARE INSIDE CLEAR DIMENSIONS.
 - FLEXIBLE DUCT RUNS SHALL BE LIMITED TO 5'-0".
 - ATTACH FLEXIBLE DUCTS TO DUCTWORK USING STAINLESS STEEL BAND CLAMPS.
 - FLEXIBLE CONNECTIONS

RUBBERIZED - CANVAS FLEXIBLE CONNECTIONS.
 - VOLUME DAMPERS

PROVIDE VOLUME DAMPERS, WHETHER INDICATED OR NOT, IN EVERY SUPPLY, RETURN, AND EXHAUST DUCT BRANCH FROM MAIN DUCT FITTED WITH LOCKING DEVICES FOR ADJUSTING THE AIR SUPPLY. PROVIDE ELEVATED DIAL REGULATORS FOR INSULATED DUCTS. INSTALL ADDITIONAL DAMPERS OF BAFFLES AS REQUIRED FOR FINAL AIR BALANCE.
 - VERIFY THE LOCATION, CAPACITY AND PERFORMANCE OF EXISTING EQUIPMENT IF THE EXISTING EQUIPMENT IS NOT FUNCTIONING AS RECOMMENDED BY THE MANUFACTURER. THIS CONTRACTOR SHALL REPAIR THE UNITS AS A PART OF THIS CONTRACT.
 - THE WORK DETAILED ON THESE PLANS IS BASED ON WHERE EXISTING FIELD CONDITIONS ARE DIFFERENT THAN SHOWN. THE CONTRACTOR SHALL ADVISE THE OWNER OF DISCREPANCIES WHICH WILL AFFECT THE PROPOSED WORK PRIOR TO BEGINNING THE WORK.

MECHANICAL SYMBOLS



GAUTHIER
ALVARADO
ASSOCIATES

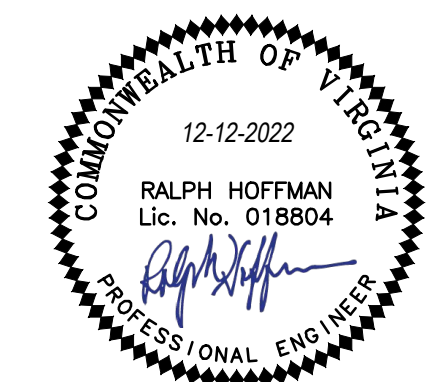
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DRAWN BY JK

CHECKED BY RH

DATE 12-12-2022

DRAWING TITLE

**MECHANICAL
COVER SHEET**

PROJECT STATUS

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DRAWING NUMBER

M001

IFB # 157389



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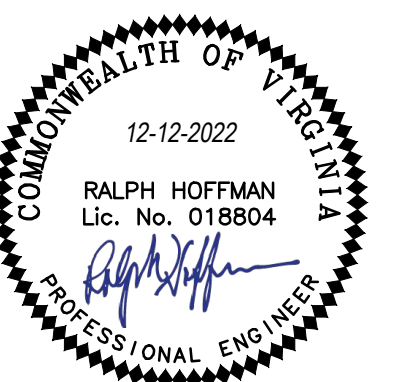
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VIRGINIA DEPARTMENT OF
TRANSPORTATION

State Project No.
501-B2501-012

**PETERSBURG &
SOUTH HILL
RESIDENCY
RESTROOM
RENOVATIONS**



REVISIONS

NO.	DATE	DESCRIPTION

GAA PROJECT NO. 768-E1

DRAWN BY JK

CHECKED BY RH

DATE 12-12-2022

DRAWING TITLE

**MECHANICAL
PETERSBURG - DEMOLITION &
NEW WORK FLOOR PLAN**

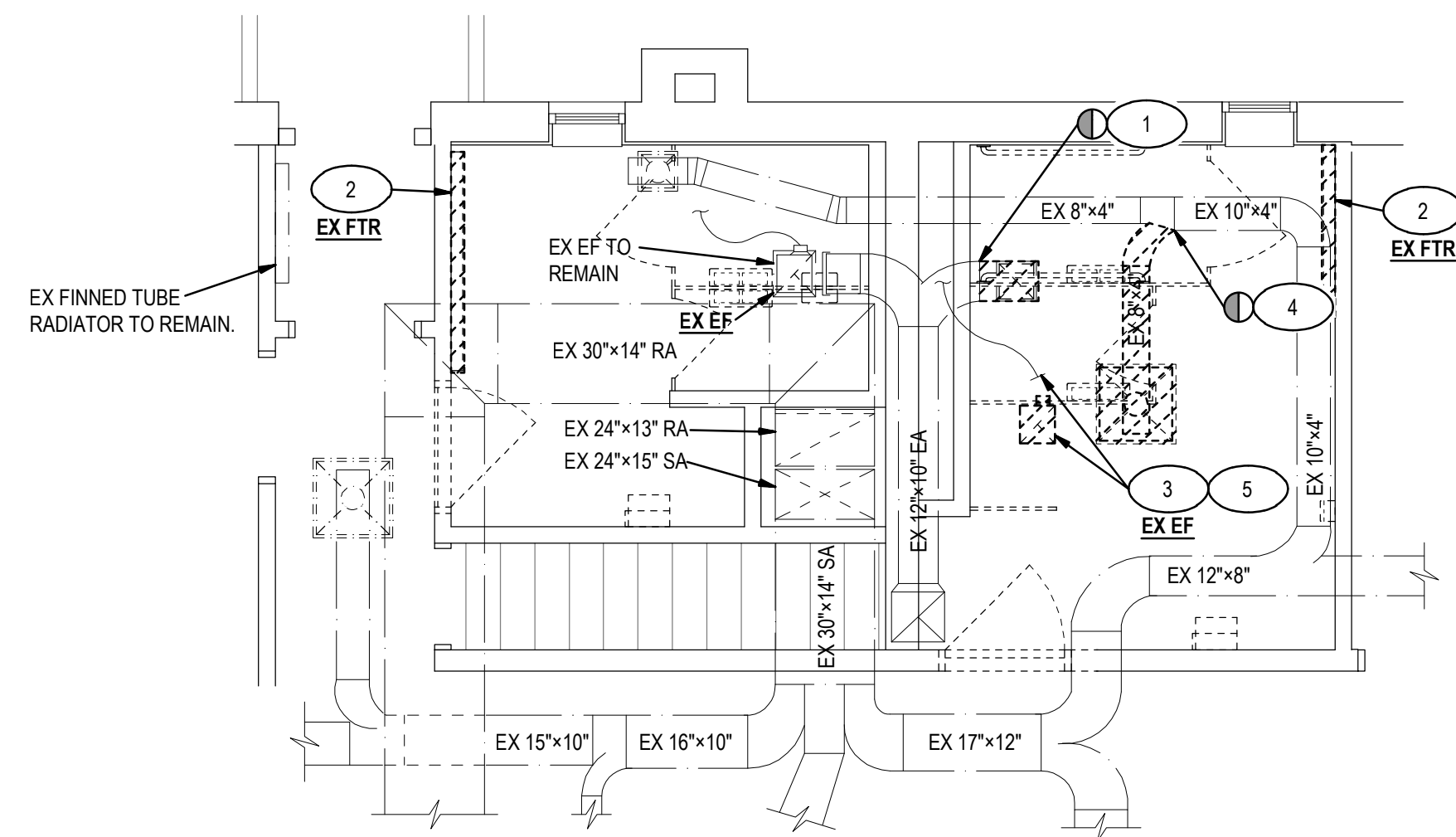
PROJECT STATUS

PERMIT SUBMISSION

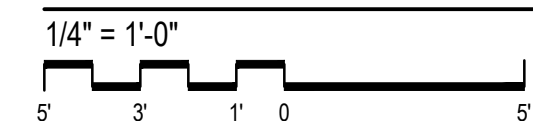
DRAWING NUMBER

M101

IFB # 157389

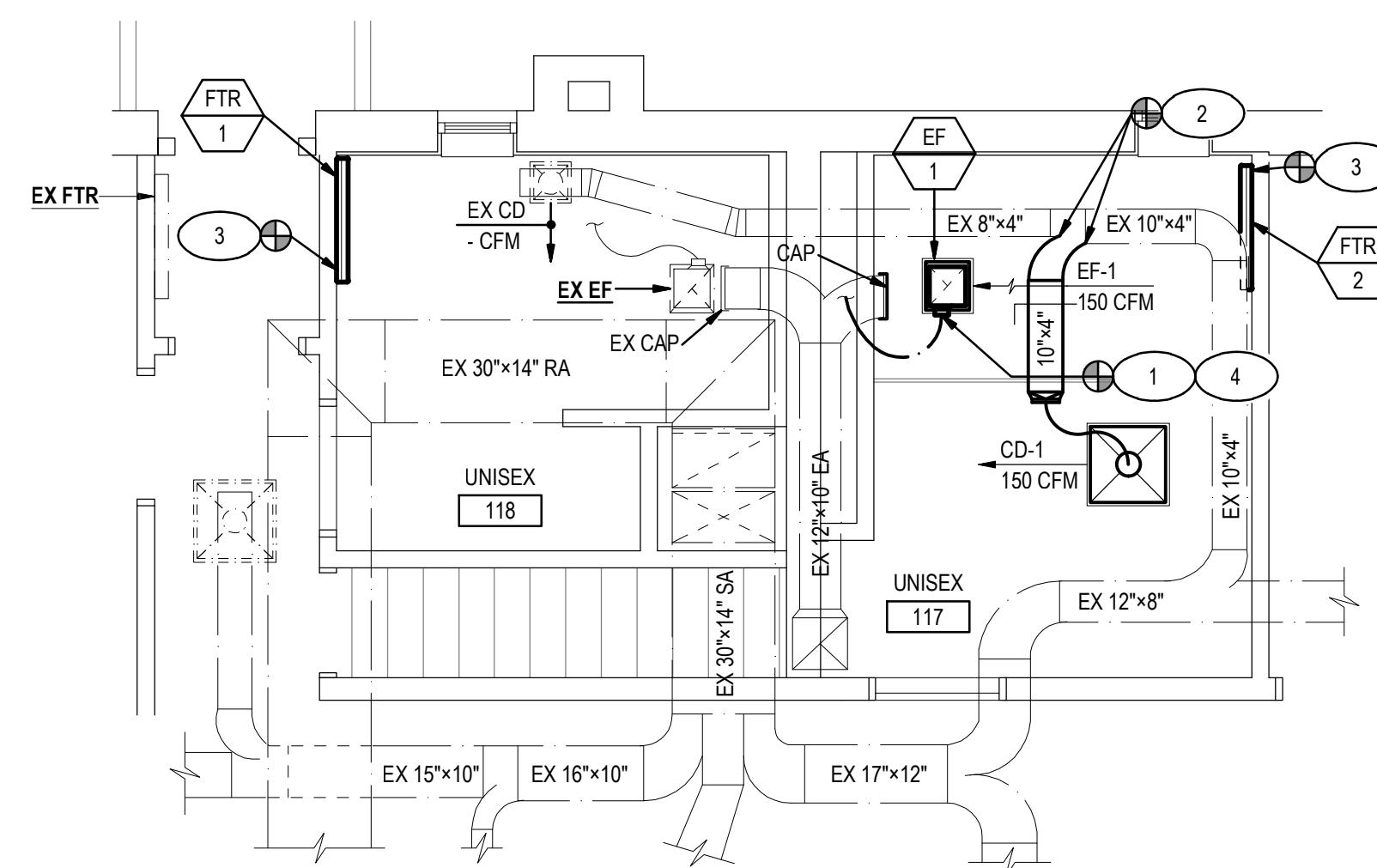


PETERSBURG - DEMOLITION FLOOR PLAN

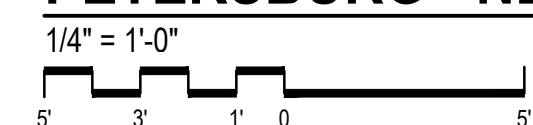


DEMOLITION KEY NOTES

- 1 REMOVE EXISTING EXHAUST GRILLE AND ALL ASSOCIATED COMPONENTS INCLUDING DUCTWORK TO POINT WHERE INDICATED AND CAP.
- 2 REMOVE EXISTING FINNED TUBE RADIATOR. RETAIN EX 1/2" HIWS/R PIPING FOR NEW INSTALLATION.
- 3 REMOVE EXISTING CEILING MOUNTED EXHAUST FAN AND ALL ASSOCIATED COMPONENTS. RETAIN EXISTING FLEX DUCT FOR RECONNECTION.
- 4 REMOVE EXISTING SUPPLY AIR DIFFUSER AND ALL ASSOCIATED COMPONENTS BACK TO MAIN. RETAIN DUCT TAP FOR NEW INSTALLATION.
- 5 DISCONNECT EXISTING EXHAUST FAN AND MAINTAIN EXISTING ASSOCIATED ELECTRICAL COMPONENTS TO INCLUDE: MOTOR STARTER, DISCONNECT SWITCH, WIRING, AND BRANCH CIRCUIT CONDUIT FOR RECONNECTION TO NEW EQUIPMENT.

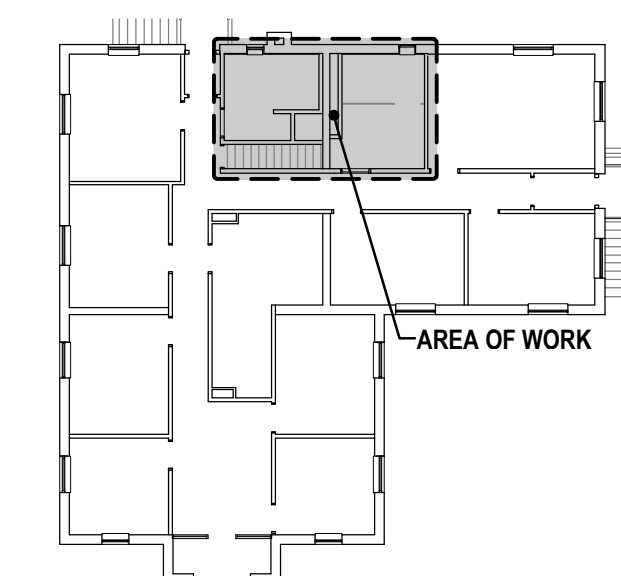


PETERSBURG - NEW WORK FLOOR PLAN



NEW WORK KEY NOTES

- 1 RECONNECT EXISTING EXHAUST FLEX DUCT TO EF-1.
- 2 EXTEND RIGID DUCT AND PROVIDE NEW FLEX DUCT TO SUPPLY AIR DIFFUSER IN THE LOCATION SHOWN.
- 3 RECONNECT EXISTING 1/2" HIWS/R PIPING TO NEW HYDRONIC BASEBOARD HEATER AND CONFIRM PROPER OPERATION.
- 4 RECONNECT NEW EXHAUST FAN TO EXISTING BRANCH CIRCUIT WIRING AND ASSOCIATED EQUIPMENT FOR CONTROL AND DISCONNECT. FIELD VERIFY EXISTING VOLTAGE AND COORDINATE WITH PURCHASED EQUIPMENT.



PETERSBURG - KEY PLAN
NOT TO SCALE



GAUTHIER
ALVARADO
ASSOCIATES

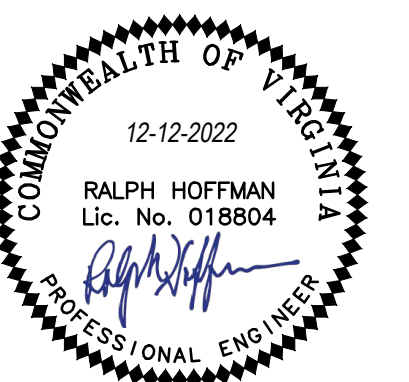
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MECHANICAL
SOUTH HILL - DEMOLITION &
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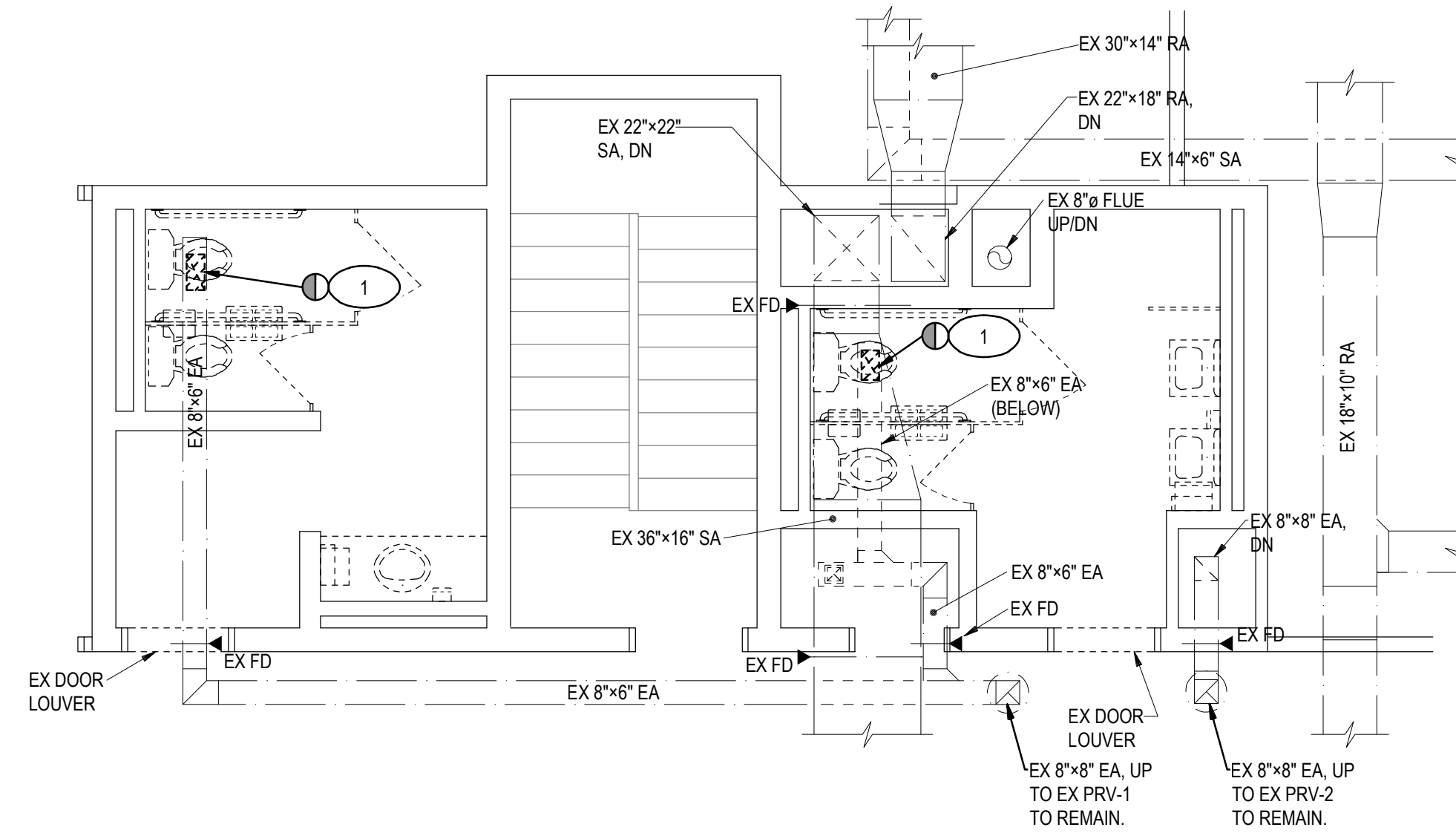
PROJECT STATUS

PERMIT SUBMISSION

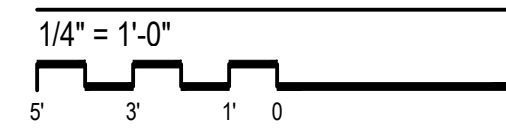
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M102

IFB # 157389

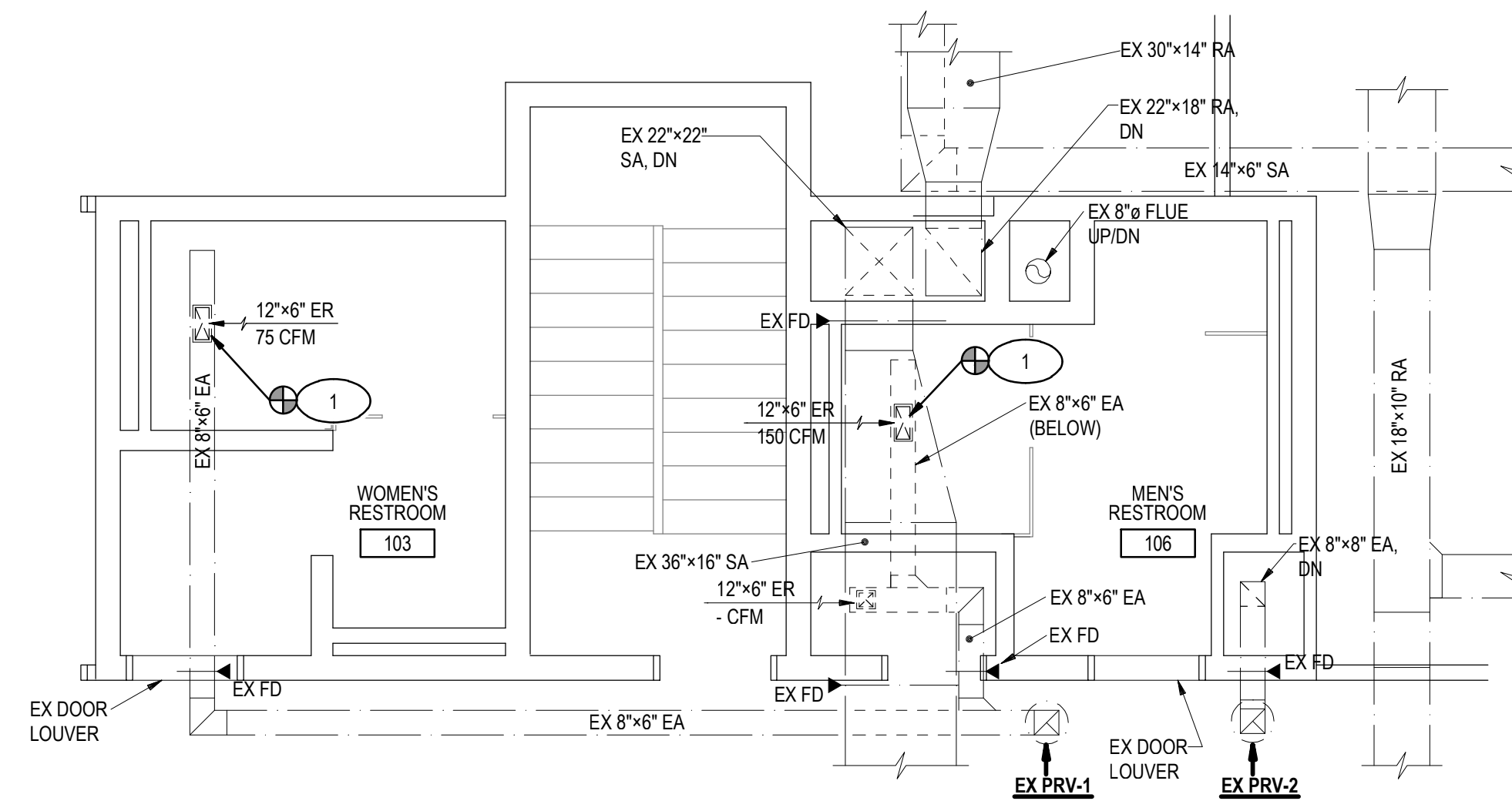


SOUTH HILL - DEMOLITION FLOOR PLAN

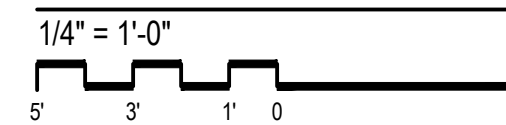


DEMOLITION KEY NOTES

- 1 REMOVE EXISTING EXHAUST GRILLE. RETAIN DUCTWORK AND OPENING FOR NEW INSTALLATION.
- 2 NOT USED.
- 3 NOT USED.

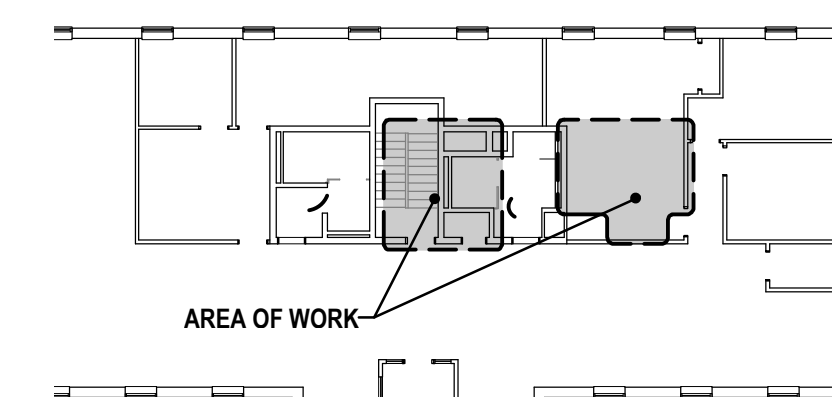


SOUTH HILL - NEW WORK FLOOR PLAN



NEW WORK KEY NOTES

- 1 PROVIDE NEW EXHAUST REGISTER AND BALANCE TO AIR QUANTITIES SHOWN. MODIFY DUCT TAP AS NECESSARY FOR FINAL INSTALLATION.



SOUTH HILL - KEY PLAN

NOT TO SCALE

180141801 - SCHEDULES - 12/13/22
 GAA FILE - PHOTO SCALE - NOT TO SCALE

FAN SCHEDULE															
DESIG	FACILITY	SERVES	LOCATED	TYPE	CFM	ESP	MHP	RPM MAX	STARTER	DRIVE	ACCESSORIES	ELECTRICAL DATA		BASIS OF DESIGN	REMARKS
												VOLTS - PHASE - HERTZ			
EF-1	PETERSBURG	UNISEX RESTROOM 117	UNISEX 117	A	150	0.125	-	-	HOA	DIRECT	-	120 - 1 - 60		SEE SPECIFICATIONS	RECONNECT TO EXISTING CONTROLS

NOTES:
 1. FAN TYPES: 'A' - CEILING MOUNTED FAN, 'B' - DOWNBLAST POWER ROOF VENTILATOR
 2. PROVIDE DISCONNECTS FOR ALL FANS.

HYDRONIC BASEBOARD HEATER SCHEDULE														
DESIG	FACILITY	SERVES	TYPE	WATER FLOW					ROWS	ACTIVE LENGTH (FT)	HEIGHT (IN.)	DEPTH (IN.)	PROTOTYPE	REMARKS
				GPM	AWT °F	LWT °F	MAX P.D. FT. H2O	CAP. BTUH/FT						
FTR-1	PETERSBURG	UNISEX RESTROOM 118	A	1	150	140	-	510	1	3	7.25	3.5	SEE SPECIFICATIONS	---
FTR-2	PETERSBURG	UNISEX RESTROOM 117	A	1	150	140	-	510	1	3	7.25	3.5	SEE SPECIFICATIONS	---

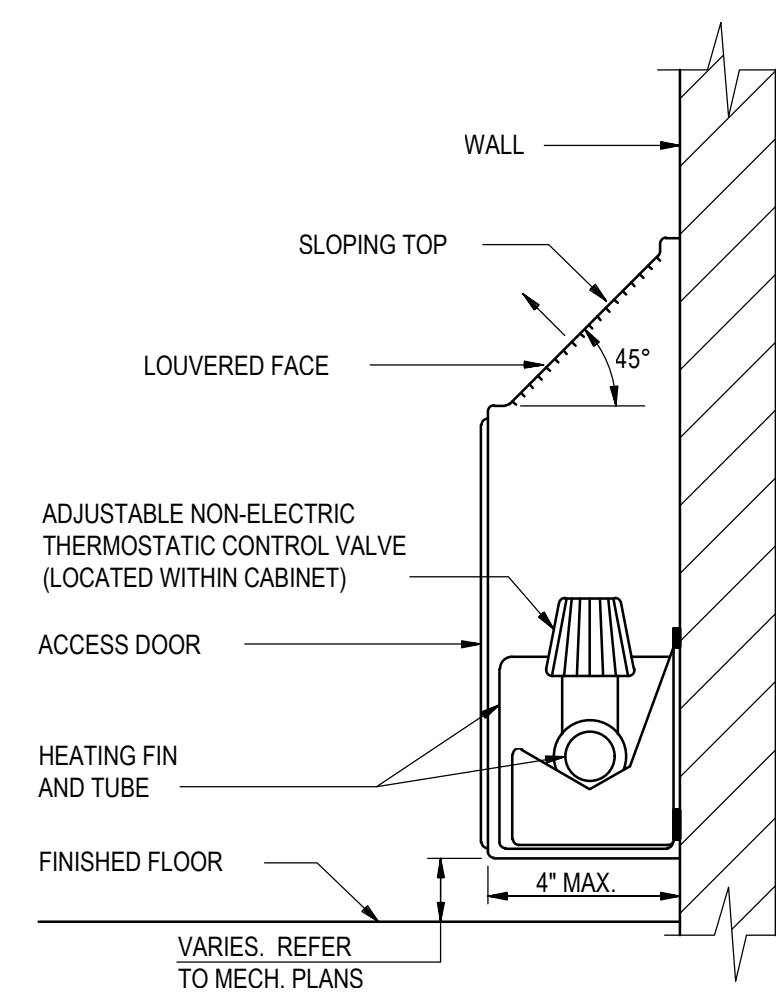
NOTES: 'A' - VERTICAL SLOPE, WALL-MOUNTED

CEILING DIFFUSER SCHEDULE												
DESIG.	SERVICE	CFM RANGE	NECK SIZE IN.	OVERALL FACE DIM.	FACE	MOUNTING	PATTERN	FINISH	MAX NC LEVEL DB	MAX P.D IN. H2O	PROTOTYPE:	REMARKS
CD-1	SUPPLY	0 - 175	6	24 x 24	LOUV.	LAY-IN	4-W	NOTE 2	20	0.10	SEE SPECIFICATIONS	FULLY INSULATE TO OF DIFFUSER

THE SAME SPECIFICATIONS AS SHOWN EXCEPT FOR THE MOUNTING TYPE. MOUNTING TYPE ON DIFFUSERS DESIGNATED 'A' SHALL BE FLUSH SURFACE MOUNTED.
 (1) HORIZONTAL AND VERTICAL AIR PATTERNS.
 (2) COORDINATE FINISH WITH ARCHITECTURAL.

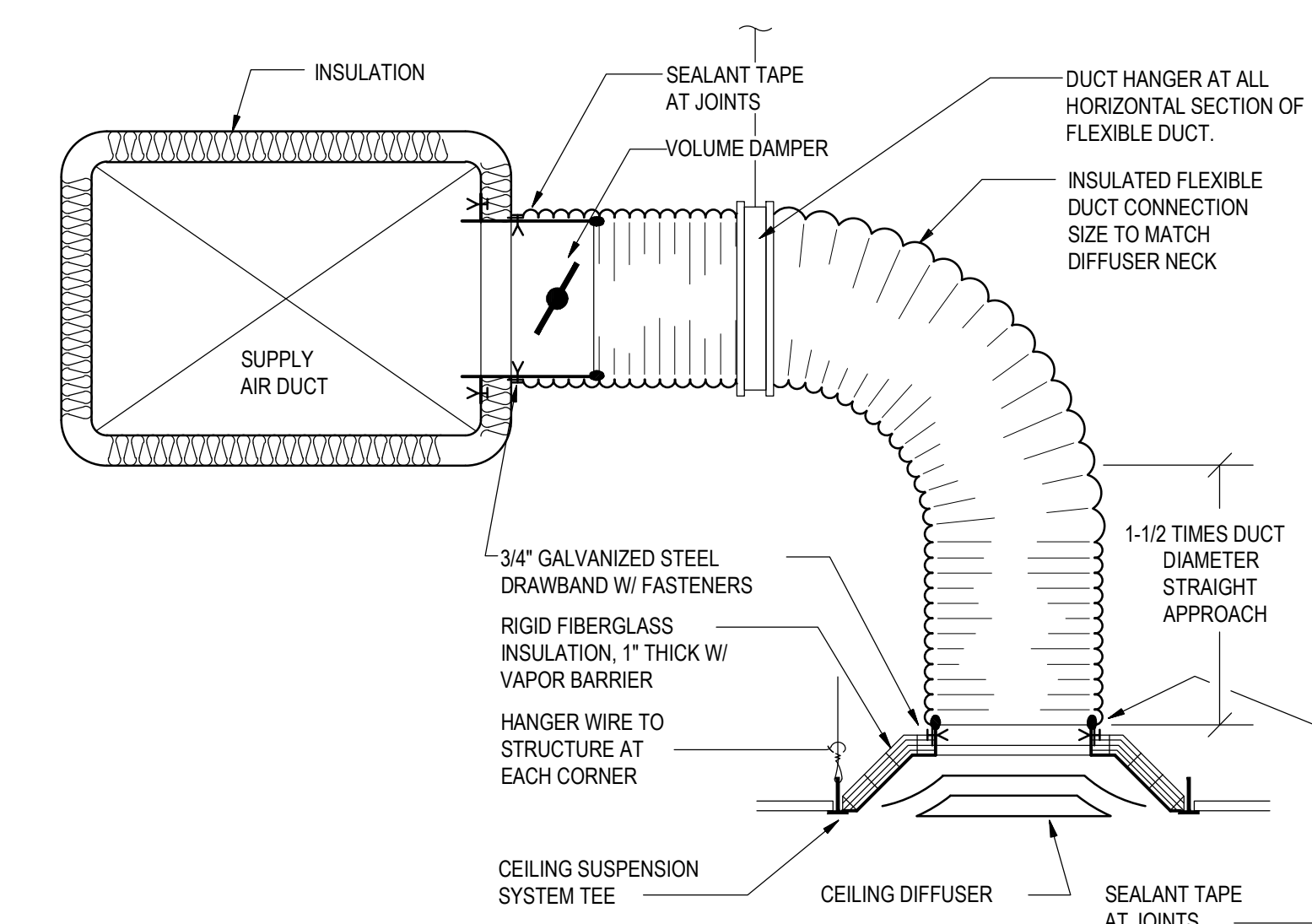
REGISTERS AND GRILLES SCHEDULE											
DESIG	SERVICE	CFM RANGE	FACE (IN.)	FACE BLADES			FINISH	MAX NC LEVEL dB	PROTOTYPE	ACCESSORIES (1)	REMARKS
				DEFLEC.	SPACING	MATERIAL					
ER	EXHAUST	-	AS SHOWN	SINGLE	3/4"	STEEL	NOTE 2	20	SEE SPECIFICATIONS	VD	---

NOTES:
 1. 'OBD' - OPPOSED BLADE DAMPER; 'VD' - VOLUME DAMPER
 2. COORDINATE FINISH WITH ARCHITECTURAL.



- NOTE:**
- DETAIL BASED ON VULCAN - NST.
 - FOLLOW MANUFACTURER'S INSTALLATION DETAILS AND INSTRUCTIONS.
 - PROVIDE MOUNTING PLATES FOR COMPLETE INSTALLATION.

HYDRONIC BASEBOARD HEATER DETAIL
NOT TO SCALE



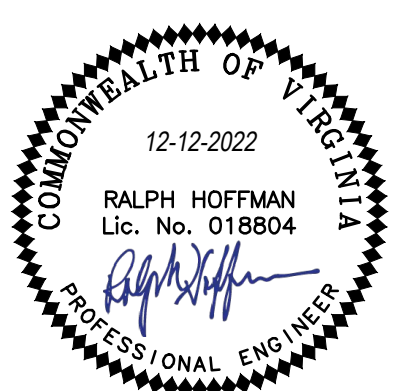
- NOTE:**
- ALL FLEX DUCT SHALL BE 5'-0" MAX IN LENGTH.
 - ALL BRANCH TAPS SHALL BE 2'-0" MIN. RIGID BEFORE FLEX CONNECTION.

CEILING DIFFUSER DETAIL
NOT TO SCALE



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DRAWING TITLE
MECHANICAL SCHEDULES & DETAILS

PROJECT STATUS
 PERMIT SUBMISSION
 DRAWING NUMBER

M601
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