

# PROJECT INFORMATION SHEET

Drawn By: Author  
 Checked By: Checker  
 Approved By: Approver

## GENERAL NOTES FOR PROJECTS

- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE DRAWINGS AND THE PROJECT MANUAL (SPECIFICATIONS, SCHEDULES, ETC.). THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DRAWINGS AND THE PROJECT MANUAL, AND HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES THAT ARE DISCOVERED.
- PROVIDE CONTINUOUS SEALANT TO PROVIDE "WATER-TIGHT" AND "AIR-TIGHT" CONDITION AT THE PERIMETERS OF ALL DOOR FRAMES, INTERIOR WINDOW FRAMES, EXTERIOR WINDOW FRAMES, WINDOW STOOLS, CABINETS, CASEWORK, COUNTERTOPS, PLUMBING FIXTURES, TOILET ACCESSORIES (BOTH RECESSED & SURFACE MOUNTED), FIRE EXTINGUISHER CABINETS, FIRE DEPARTMENT VALVE CABINETS, ETC. (EVEN WHEN THE JOINT AT THE PERIMETER IS EITHER HIDDEN OR NOT READILY VISIBLE).
- THE CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION. ALL EXISTING STAIRWAYS AND RATED EXIT PASSAGEWAYS SHALL BE MAINTAINED SO THAT THEY ARE CLEAR AND ACCESSIBLE; AND THE INTEGRITY OF THE DESIGNATED RATED ENCLOSURE AROUND THEM SHALL ALSO BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED SO AS TO PROVIDE WATER-TIGHT, WEATHER-TIGHT AND CONDITIONED EXISTING SPACE AT ALL TIMES THROUGHOUT ALL PHASES OF CONSTRUCTION. PROVIDE TEMPORARY ENCLOSURES AS REQUIRED. PROVIDE PORTABLE HEATING UNITS AND/OR COOLING UNITS TO MAINTAIN 70 DEGREES F. (INSIDE TEMPERATURE) IN OCCUPIED SPACES, UNLESS OTHERWISE DIRECTED BY THE OWNER.

## GENERAL NOTES FOR NEW CONSTRUCTION FLOOR PLANS

- SEE ENLARGED PLANS, ELEVATIONS, DETAILS, ETC., FOR DIMENSIONS AND KEYNOTES WHICH APPLY TO THE NEW CONSTRUCTION FLOOR PLANS.
- EXISTING-TO-REMAIN WALLS/PARTITIONS/BARRIERS, DOORS, WINDOWS, ETC. ARE "SCREENED-BACK" ON THE NEW CONSTRUCTION PLANS. NEW CONSTRUCTION IS INDICATED BY SOLID LINES. REFER TO DEMOLITION FLOOR PLANS FOR EXTENT OF "EXISTING-TO-BE-REMOVED".
- REFER TO ARCHITECTURAL SCHEDULES AND LEGENDS LOCATED AS FOLLOWS:  
 A. DOOR, FRAME AND HARDWARE SCHEDULE, NOTES AND ABBREVIATIONS: SEE A301.  
 B. DOOR, FRAME AND HARDWARE LEGENDS AND DETAILS: SEE SHEET A301

## GENERAL NOTES FOR DEMOLITION FLOOR PLANS

- THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS, "WHICH WERE PROVIDED TO THE ARCHITECT/ENGINEER BY THE OWNER." AND THEY MAY NOT REFLECT ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE DRAWINGS IN COMPARISON TO EXISTING FIELD CONDITIONS AND THEN IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS.
- THE CONTRACTOR SHALL ALSO IMMEDIATELY NOTIFY THE ARCHITECT IF ANY DEMOLITION OR NEW CONSTRUCTION WORK (AS INDICATED IN THE CONSTRUCTION DOCUMENTS) CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.
- IF ANY EXISTING FIREPROOFING AND/OR RATED ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO CONFORM TO THE ORIGINAL FIRE PROTECTION REQUIREMENTS. ALSO, THE INTEGRITY OF EXISTING RATED FLOOR, WALL, BARRIERS AND ROOF ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. (NOTE: AS APPLICABLE, CONTACT ARCHITECT TO VERIFY TESTED ASSEMBLIES TO BE USED FOR REPAIRS.)
- REMOVE EXISTING CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL SHALL INCLUDE MECHANICAL, PLUMBING, ELECTRICAL, COMMUNICATIONS AND SECURITY SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CABINETWORK, CASEWORK, WINDOWS, FRAMES, FINISHES, FIXTURES AND THEIR ATTACHMENTS AS REQUIRED. AFTER REMOVAL, REPAIR HOLES IN EXISTING-TO-REMAIN FLOORS, WALLS, BARRIERS AND ROOFS TO COMPLY WITH ORIGINAL FIRE, SMOKE AND SOUND ASSEMBLIES, FIRE PROTECTION REQUIREMENTS, AND STRUCTURAL INTEGRITY. PREPARE SURFACES TO RECEIVE NEW FINISH PER INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS. (WHERE NEW FINISH IS CALLED FOR ON AN EXISTING SURFACE, REMOVE THE EXISTING FINISH AND PREPARE EXISTING SURFACE TO RECEIVE THE NEW FINISH.)
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION [A-H].
- THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES AND ALL STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.
- THE CONTRACTOR SHALL NOT CUT EXISTING OR NEW STRUCTURAL WORK IN ANY MANNER THAT MAY RESULT IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED IN ADVANCE FROM THE ARCHITECT AND STRUCTURAL ENGINEER.
- WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ANY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT IN WRITING. NOTE: REMOVAL, DISPOSAL AND REPLACEMENT OF THE HAZARDOUS MATERIAL IS THE SOLE RESPONSIBILITY OF THE OWNER, AND SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING-TO-REMAIN MATERIALS AND FINISHES (CEILING GRID, CEILING TILE, GYPSUM BOARD, FINISHES, DOORS, WINDOWS, FRAMES, WALL PROTECTION, ETC.) WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

## ENERGY CODE REQUIREMENTS

### BUILDING ENVELOPE PERFORMANCE REQUIREMENTS

ROOFS	INSULATION ABOVE DECK METAL BUILDING ATTIC AND OTHER MASS	R-9.5ci N/A N/A N/A
WALLS	OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS, R-VALUE METHOD TABLE C402.1.3 (IECC)	METAL BUILDING METAL FRAMED WOOD FRAMED AND OTHER BELOW GRADE N/A N/A N/A
FLOORS	MASS JOIST/FRAMING	N/A N/A
SLAB ON GRADE	UNHEATED SLAB HEATED SLAB	N/A N/A
DOORS	SWINGING NON-SWINGING	R-4.75 N/A

\*ci = CONTINUOUS INSULATION

BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS TABLE C402.4 (IECC)	FIXED FENESTRATION	U-0.36
	OPERABLE FENESTRATION	N/A
	ENTRANCE DOORS	U-0.63
	SHGC	U-0.36

## PLAN REVIEW DATA

### GOVERNING CODES AND REGULATIONS

- 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VIRGINIA USBC) (IBC 2021)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2021 VIRGINIA EXISTING BUILDING CODE
- 2010 THE AMERICANS WITH DISABILITIES ACT (ADA) AND ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES

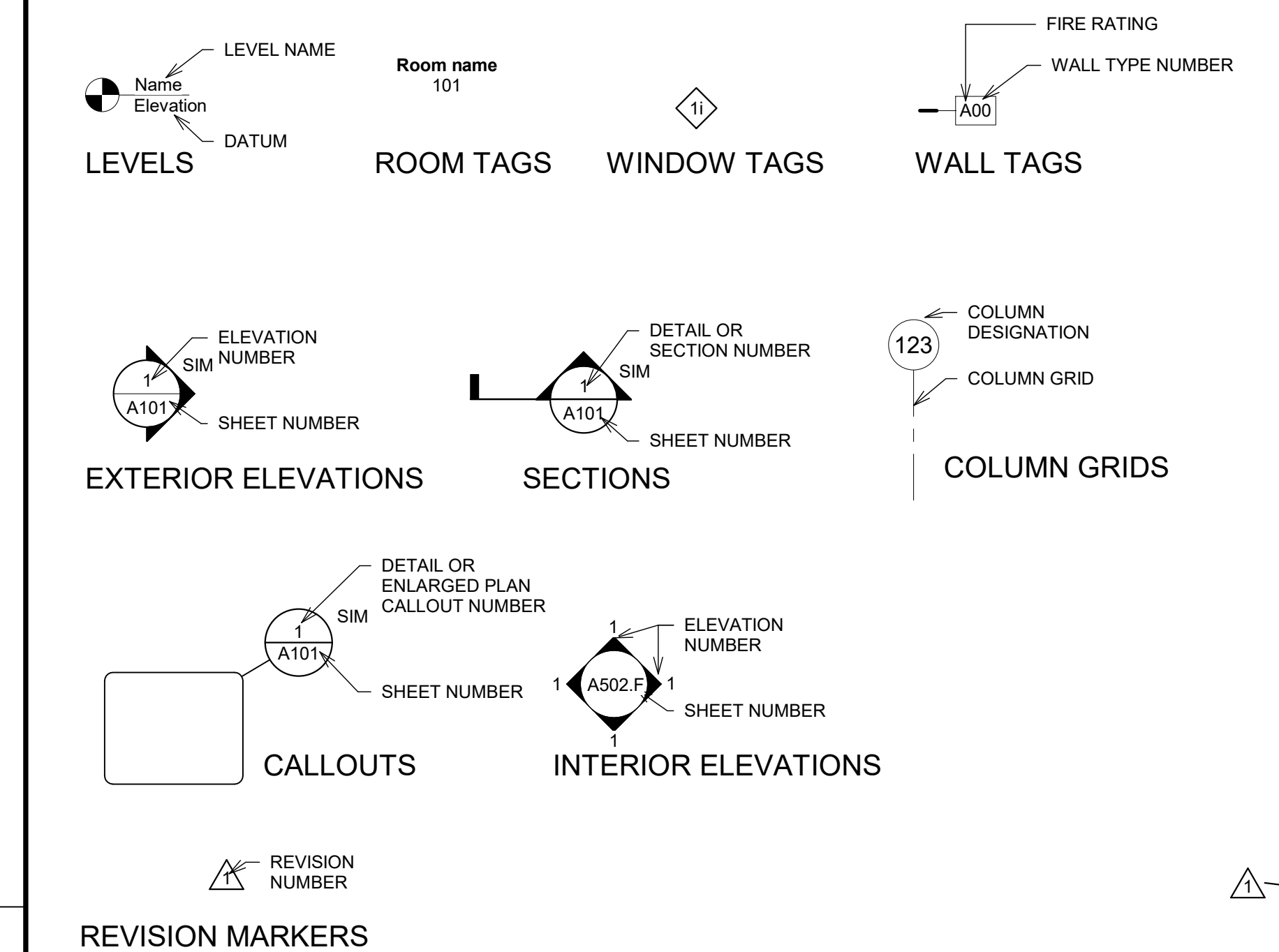
## SHEET INDEX

GENERAL	COVER SHEET
G001	PROJECT INFORMATION AND GENERAL NOTES
ARCHITECTURAL	
A101	DEMOLITION FLOOR PLAN & DETAILS
A201	NEW CONSTRUCTION FLOOR PLAN & DETAILS
A301	EXTERIOR ELEVATIONS

## WIND DESIGN LOADS

STANDARD:	ASCE/SEI 7-16
RISK CATEGORY:	III
WIND SPEED:	120 MPH
10-YEAR MRI:	75 MPH
25-YEAR MRI:	84 MPH
50-YEAR MRI:	90 MPH
100-YEAR MRI:	95 MPH

## GRAPHIC SYMBOLS LEGEND



CONCOURSE B LEVEL 1 WINDOW REPLACEMENT

RICHMOND INTERNATIONAL AIRPORT  
1 RICHARD E BYRD TERMINAL DRIVE  
RICHMOND, VA 23250

## VICINITY MAP



NOT FOR CONSTRUCTION

ISSUE FOR BID

Revision		
No.	Date	Description
1	2/23/24	ADDENDUM 1

PROJECT INFORMATION AND GENERAL NOTES

# G001

PROJECT: 45533.38  
DATE: 02.05.2024

LINE IS 3 INCHES WHEN PRINTED FULL SIZE



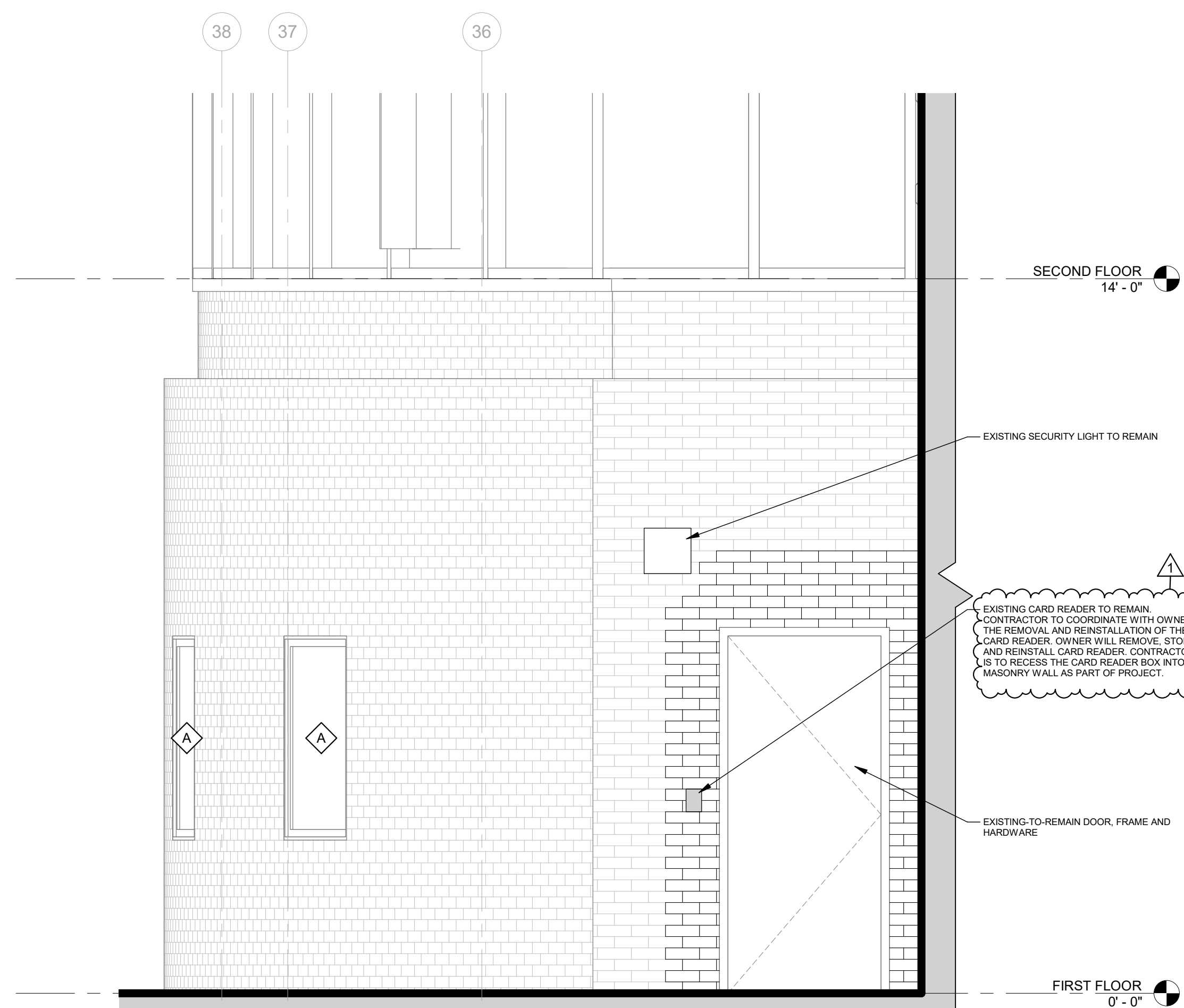


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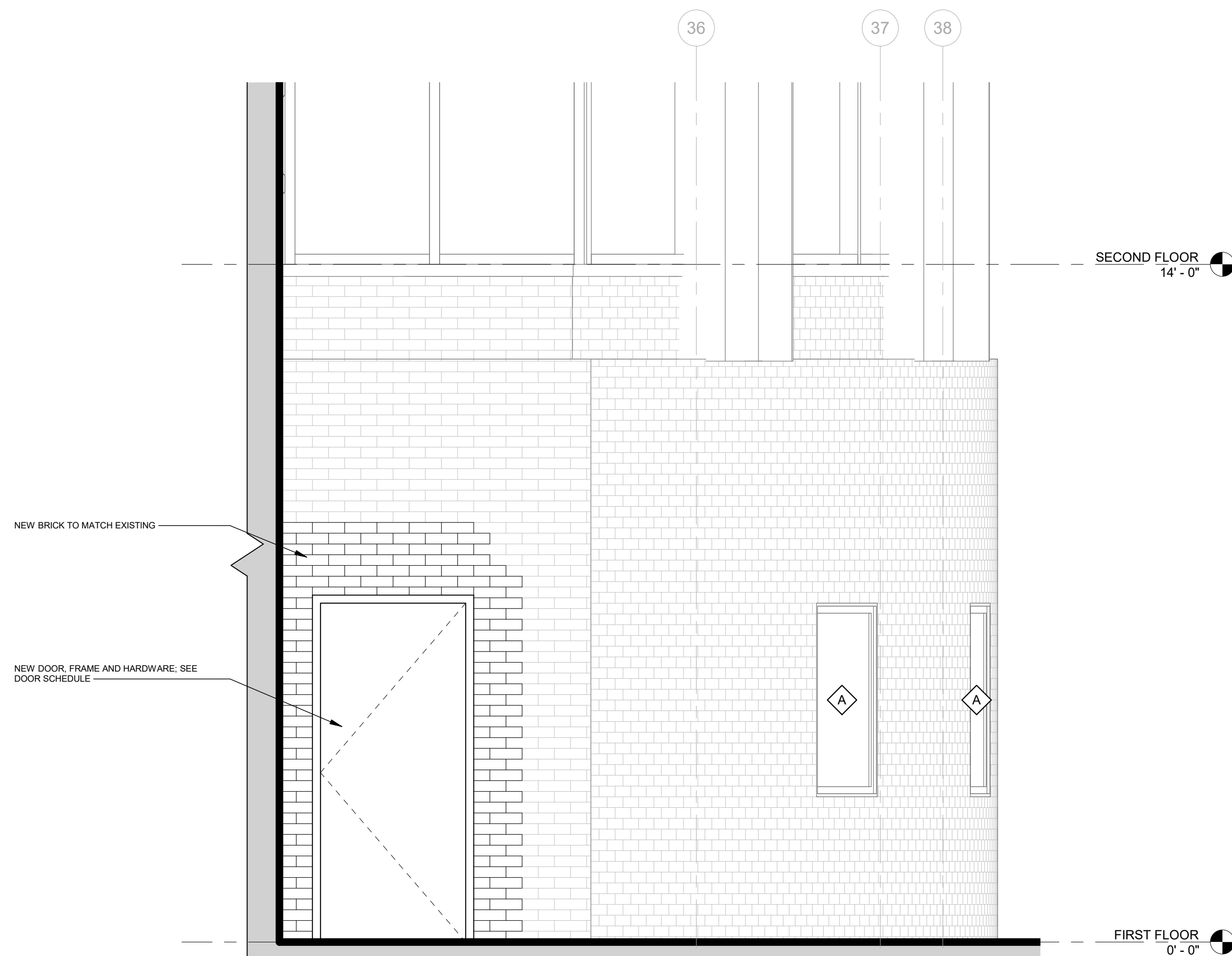
**LEGEND**

EXTERIOR WINDOW DESIGNATION

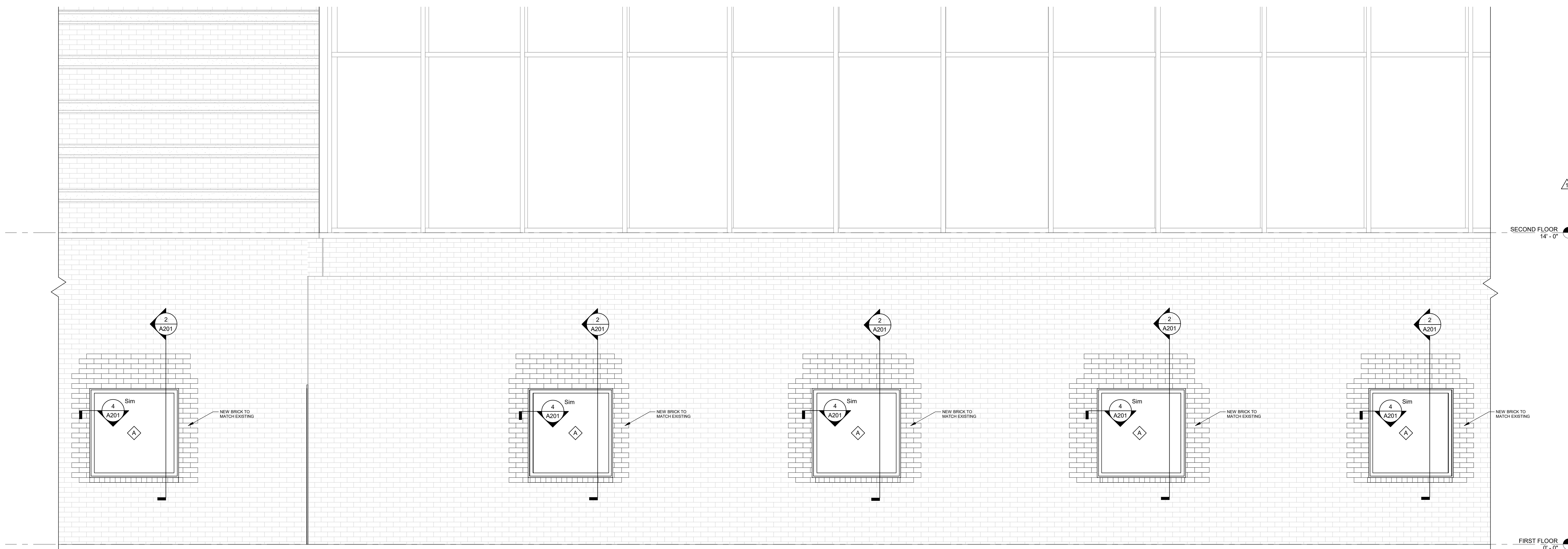
Window Schedule			
Mark	Width	Height	Comments
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD



**2 EAST ELEVATION - FIS DOOR**  
 1/2" = 1'-0"



**3 WEST ELEVATION - DELTA DOOR**  
 1/2" = 1'-0"



**1 EXTERIOR SOUTH ELEVATION**  
 1/2" = 1'-0"

**CONCOURSE B LEVEL 1 WINDOW REPLACEMENT**

RICHMOND INTERNATIONAL AIRPORT  
 1 RICHARD E BYRD TERMINAL DRIVE  
 RICHMOND, VA 23250

NOT FOR CONSTRUCTION  
 ISSUE FOR BID

Revision		
No.	Date	Description
1	2/23/24	ADDENDUM 1

EXTERIOR ELEVATIONS

**A301**

PROJECT: 45533.38  
 DATE: 02.05.2024

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2/23/2024 11:31:13 AM BIM 360//RIC Airport OLD R21/08\_455338\_Conc B\_ARCH\_R21.rvt

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