



**RICHMOND**  
INTERNATIONAL AIRPORT

CRAC IFB No. 24-2460

# **CONCOURSE B LEVEL 1 WINDOW REPLACEMENT**

RICHMOND INTERNATIONAL AIRPORT  
1 RICHARD E BYRD TERMINAL DRIVE  
RICHMOND, VA 23250

## **ISSUE FOR BID**

02.05.2024

# PROJECT INFORMATION SHEET

Drawn By: Author  
 Checked By: Checker  
 Approved By: Approver

## GENERAL NOTES FOR PROJECTS

11. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE DRAWINGS AND THE PROJECT MANUAL (SPECIFICATIONS, SCHEDULES, ETC.). THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DRAWINGS AND THE PROJECT MANUAL, AND HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES THAT ARE DISCOVERED.
12. PROVIDE CONTINUOUS SEALANT TO PROVIDE "WATER-TIGHT" AND "AIR-TIGHT" CONDITION AT THE PERIMETERS OF ALL DOOR FRAMES, INTERIOR WINDOW FRAMES, EXTERIOR WINDOW FRAMES, WINDOW STOOLS, CABINETS, CASEWORK, COUNTERTOPS, PLUMBING FIXTURES, TOILET ACCESSORIES (BOTH RECESSED & SURFACE MOUNTED), FIRE EXTINGUISHER CABINETS, FIRE DEPARTMENT VALVE CABINETS, ETC. (EVEN WHEN THE JOINT AT THE PERIMETER IS EITHER HIDDEN OR NOT READILY VISIBLE).
13. THE CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION. ALL EXISTING STAIRWAYS AND RATED EXIT PASSAGEWAYS SHALL BE MAINTAINED SO THAT THEY ARE CLEAR AND ACCESSIBLE; AND THE INTEGRITY OF THE DESIGNATED RATED ENCLOSURE AROUND THEM SHALL ALSO BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
14. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED SO AS TO PROVIDE WATER-TIGHT, WEATHER-TIGHT AND CONDITIONED EXISTING SPACE AT ALL TIMES THROUGHOUT ALL PHASES OF CONSTRUCTION. PROVIDE TEMPORARY ENCLOSURES AS REQUIRED. PROVIDE PORTABLE HEATING UNITS AND/OR COOLING UNITS TO MAINTAIN 70 DEGREES F. (INSIDE TEMPERATURE) IN OCCUPIED SPACES, UNLESS OTHERWISE DIRECTED BY THE OWNER.

## SHEET INDEX

GENERAL	
G000	COVER SHEET
G001	PROJECT INFORMATION AND GENERAL NOTES
ARCHITECTURAL	
A101	DEMOLITION FLOOR PLAN & DETAILS
A201	NEW CONSTRUCTION FLOOR PLAN & DETAILS
A301	EXTERIOR ELEVATIONS

## GENERAL NOTES FOR NEW CONSTRUCTION FLOOR PLANS

201. SEE ENLARGED PLANS, ELEVATIONS, DETAILS, ETC., FOR DIMENSIONS AND KEYNOTES WHICH APPLY TO THE NEW CONSTRUCTION FLOOR PLANS.
202. EXISTING-TO-REMAIN WALLS/PARTITIONS/BARRIERS, DOORS, WINDOWS, ETC. ARE "SCREENED-BACK" ON THE NEW CONSTRUCTION FLOOR PLANS. NEW CONSTRUCTION IS INDICATED BY SOLID LINES. REFER TO DEMOLITION FLOOR PLANS FOR EXTENT OF "EXISTING-TO-BE-REMOVED".
203. REFER TO ARCHITECTURAL SCHEDULES AND LEGENDS LOCATED AS FOLLOWS:  
 A. DOOR, FRAME AND HARDWARE SCHEDULE, NOTES AND ABBREVIATIONS: SEE A301.  
 B. DOOR, FRAME AND HARDWARE LEGENDS AND DETAILS: SEE SHEET A301

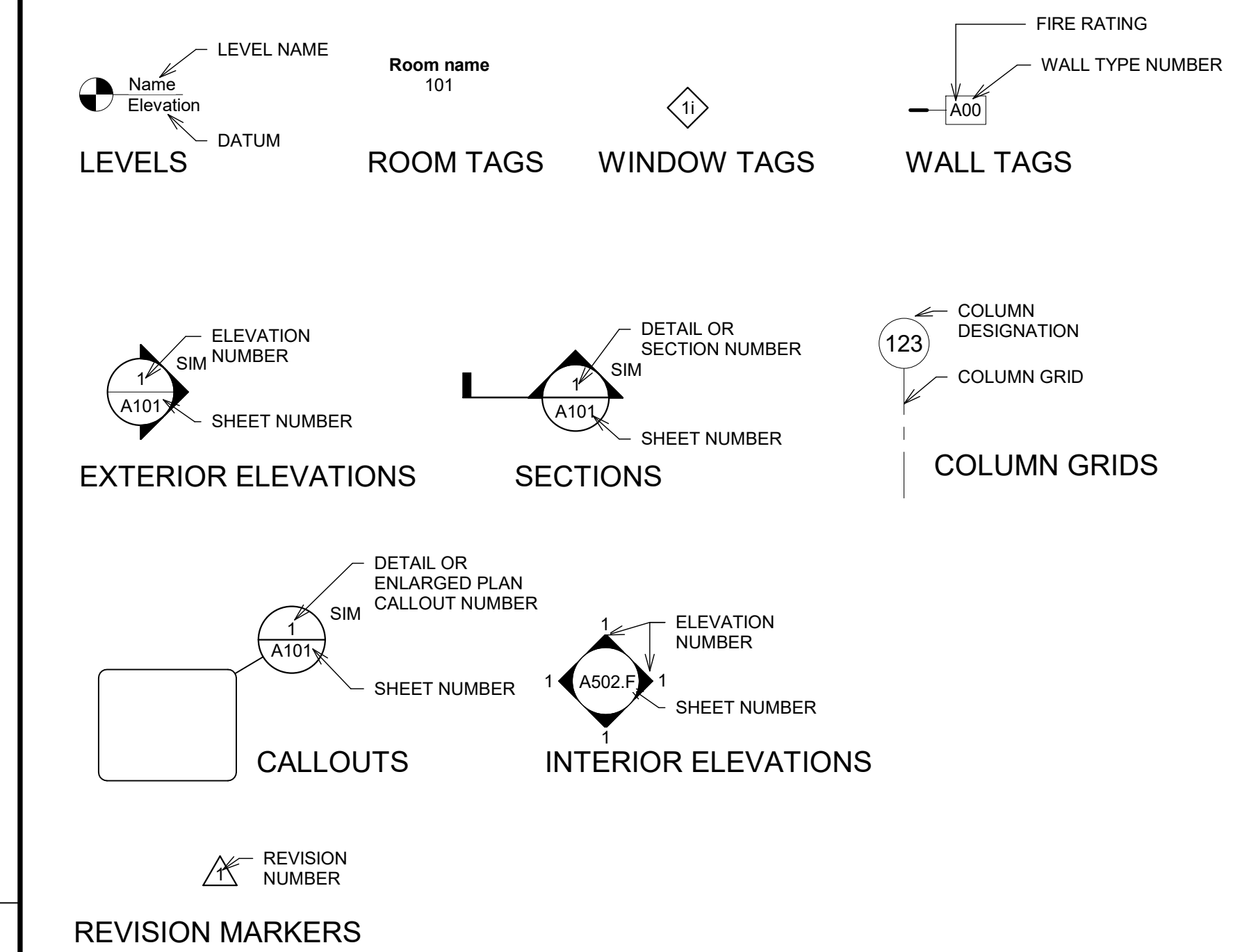
## WIND DESIGN LOADS

STANDARD:	ASCE/SEI 7-16
RISK CATEGORY:	III
WIND SPEED:	120 MPH
10-YEAR MRI:	75 MPH
25-YEAR MRI:	84 MPH
50-YEAR MRI:	90 MPH
100-YEAR MRI:	95 MPH

## GENERAL NOTES FOR DEMOLITION FLOOR PLANS

101. THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS, "WHICH WERE PROVIDED TO THE ARCHITECT/ENGINEER BY THE OWNER," AND THEY MAY NOT REFLECT ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE DRAWINGS IN COMPARISON TO EXISTING FIELD CONDITIONS AND THEN IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS.
102. THE CONTRACTOR SHALL ALSO IMMEDIATELY NOTIFY THE ARCHITECT IF ANY DEMOLITION OR NEW CONSTRUCTION WORK (AS INDICATED IN THE CONSTRUCTION DOCUMENTS) CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.
103. IF ANY EXISTING FIREPROOFING AND/OR RATED ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO CONFORM TO THE ORIGINAL FIRE PROTECTION REQUIREMENTS. ALSO, THE INTEGRITY OF EXISTING RATED FLOOR, WALL, BARRIERS AND ROOF ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. (NOTE: AS APPLICABLE, CONTACT ARCHITECT TO VERIFY TESTED ASSEMBLIES TO BE USED FOR REPAIRS.)
104. REMOVE EXISTING CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL SHALL INCLUDE MECHANICAL, PLUMBING, ELECTRICAL, COMMUNICATIONS AND SECURITY SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CABINETWORK, CASEWORK, WINDOWS, FRAMES, FINISHES, FIXTURES AND THEIR ATTACHMENTS AS REQUIRED. AFTER REMOVAL, REPAIR HOLES IN EXISTING-TO-REMAIN FLOORS, WALLS, BARRIERS AND ROOFS TO COMPLY WITH ORIGINAL FIRE, SMOKE AND SOUND ASSEMBLIES, FIRE PROTECTION REQUIREMENTS, AND STRUCTURAL INTEGRITY. PREPARE SURFACES TO RECEIVE NEW FINISH PER INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS. (WHERE NEW FINISH IS CALLED FOR ON AN EXISTING SURFACE, REMOVE THE EXISTING FINISH AND PREPARE EXISTING SURFACE TO RECEIVE THE NEW FINISH.)
105. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION [A.H.J.].
106. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES AND ALL STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION.
107. THE CONTRACTOR SHALL NOT CUT EXISTING OR NEW STRUCTURAL WORK IN ANY MANNER THAT MAY RESULT IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED IN ADVANCE FROM THE ARCHITECT AND STRUCTURAL ENGINEER.
108. WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ANY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT IN WRITING. NOTE: REMOVAL, DISPOSAL AND REPLACEMENT OF THE HAZARDOUS MATERIAL IS THE SOLE RESPONSIBILITY OF THE OWNER, AND SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
109. THE CONTRACTOR SHALL REPLACE OR REPAIR ANY EXISTING-TO-REMAIN MATERIALS AND FINISHES (CEILING GRID, CEILING TILE, GYPSUM BOARD, FINISHES, DOORS, WINDOWS, FRAMES, WALL PROTECTION, ETC.) WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

## GRAPHIC SYMBOLS LEGEND



## ENERGY CODE REQUIREMENTS

### BUILDING ENVELOPE PERFORMANCE REQUIREMENTS

	ROOFS	INSULATION ABOVE DECK METAL BUILDING ATTIC AND OTHER MASS	N/A N/A N/A N/A
	WALLS	MASS METAL BUILDING METAL FRAMED WOOD FRAMED AND OTHER BELOW GRADE	R-9.5ci N/A N/A N/A N/A
	FLOORS	MASS JOIST/FRAMING	N/A N/A
	SLAB ON GRADE	UNHEATED SLAB HEATED SLAB	N/A N/A
	DOORS	SWINGING NON-SWINGING	R-4.75 N/A
	FIXED FENESTRATION		U-0.36
	OPERABLE FENESTRATION		N/A
	ENTRANCE DOORS		U-0.63
	SHGC		U-0.36

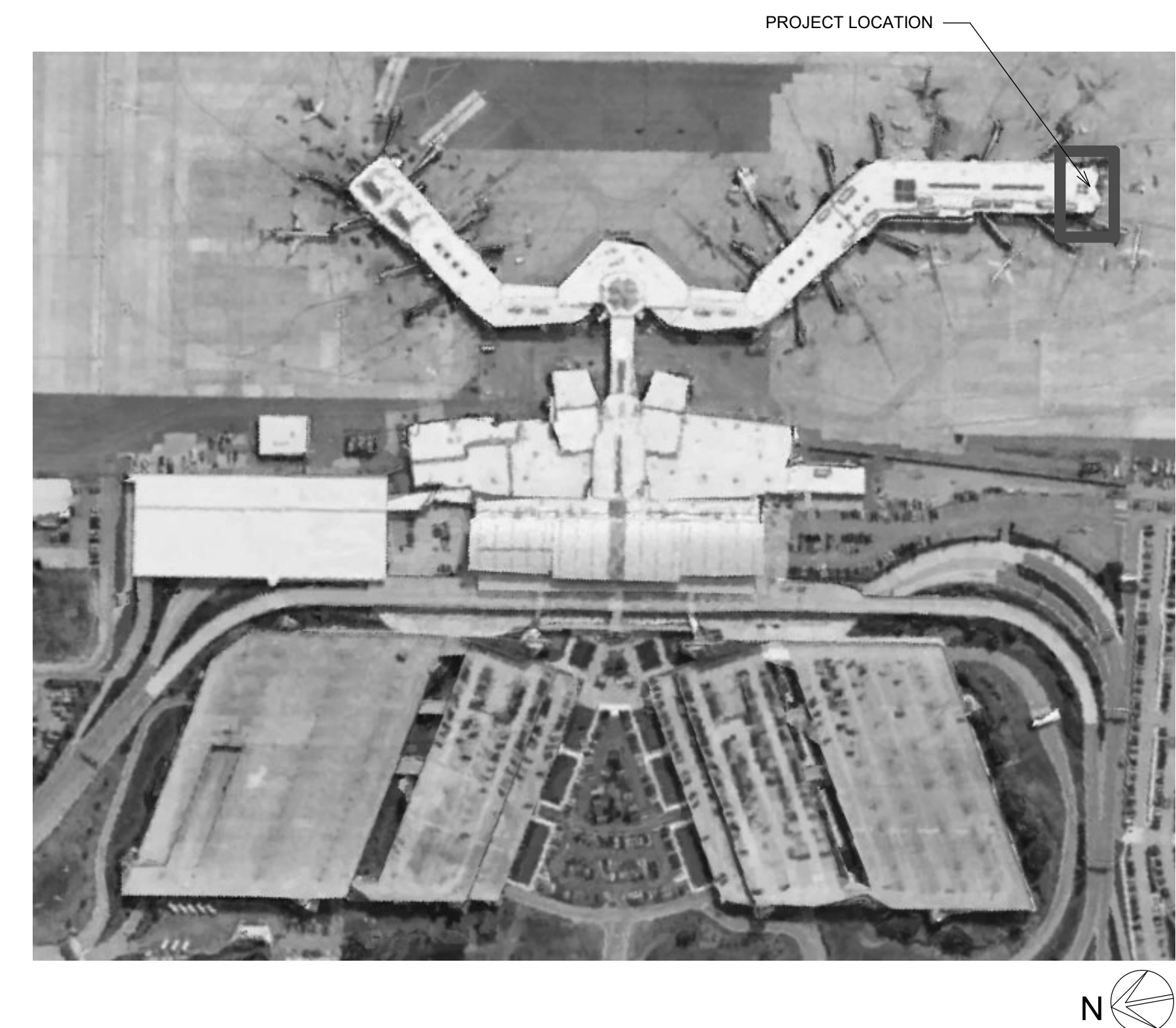
\*ci = CONTINUOUS INSULATION

## PLAN REVIEW DATA

### GOVERNING CODES AND REGULATIONS

- 2021 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VIRGINIA USBC) (IBC 2021)
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2021 VIRGINIA EXISTING BUILDING CODE
- 2010 THE AMERICANS WITH DISABILITIES ACT (ADA) AND ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES

## VICINITY MAP



1 RICHARD E BYRD  
 TERMINAL DRIVE

RICHMOND INTERNATIONAL AIRPORT  
 1 RICHARD E BYRD TERMINAL DRIVE  
 RICHMOND, VA 23250

NOT FOR  
 CONSTRUCTION

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Revision		
No.	Date	Description

PROJECT  
 INFORMATION AND  
 GENERAL NOTES

**G001**

PROJECT: 45533.38  
 DATE: 02.05.2024

LINE IS 3 INCHES WHEN PRINTED FULL SIZE

Drawn By: Author  
 Checked By: Checker  
 Approved By: Approver

### LEGEND

DEMOLITION	---
TYPE A - 1 HOUR FIRE BARRIERS TO REMAIN	—
TYPE B - 1 HOUR SMOKE BARRIERS TO REMAIN	—
TYPE C - 2 HOUR FIRE BARRIERS TO REMAIN	—
TYPE N - NON-RATED PARTITION TO REMAIN	—

SEE "DEMOLITION KEYNOTES" ON THIS SHEET 1001

COMPLY WITH ALL REQUIREMENTS INCLUDED IN THE "GENERAL NOTES FOR DEMOLITION FLOOR PLANS" ON SHEET G001

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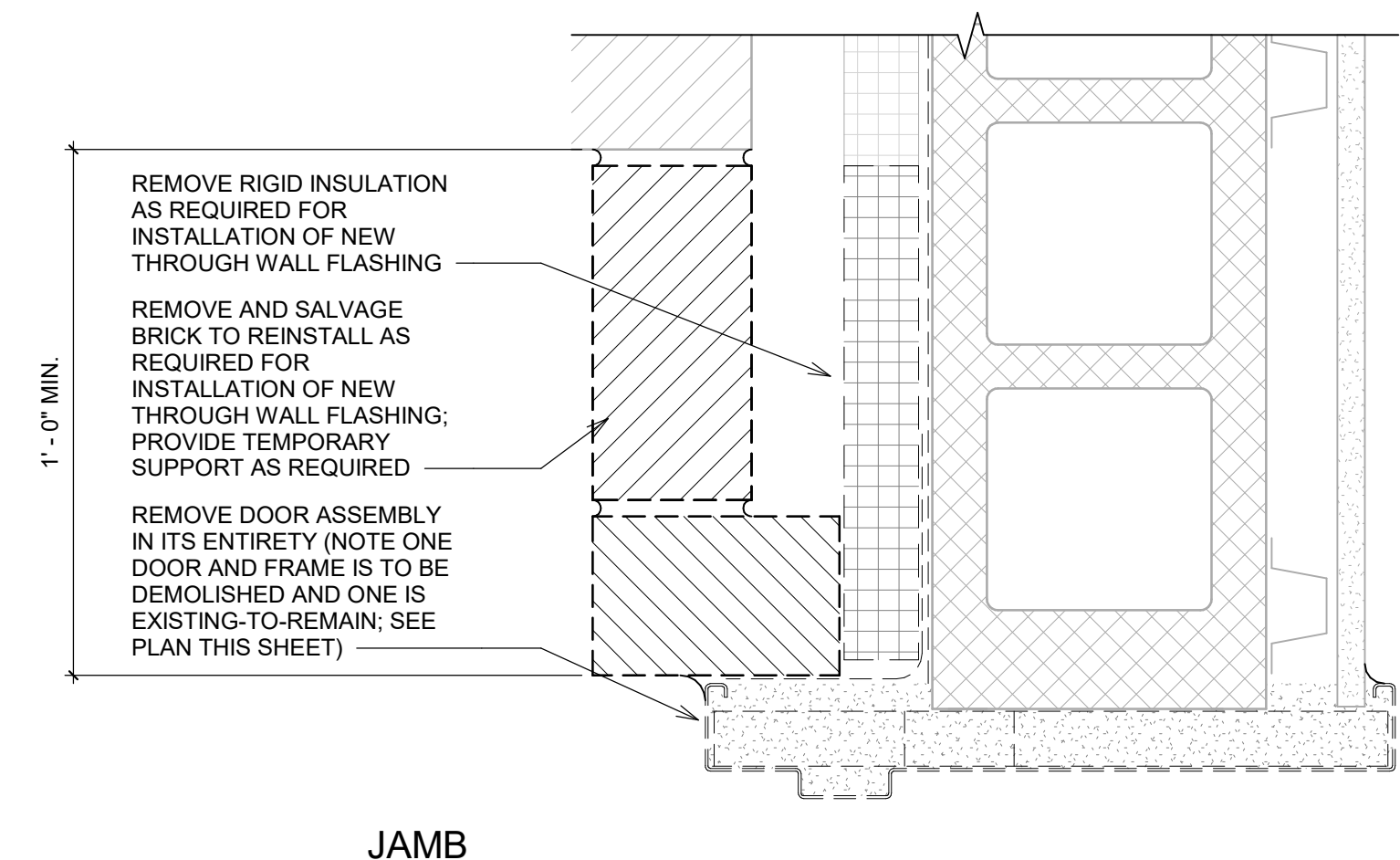
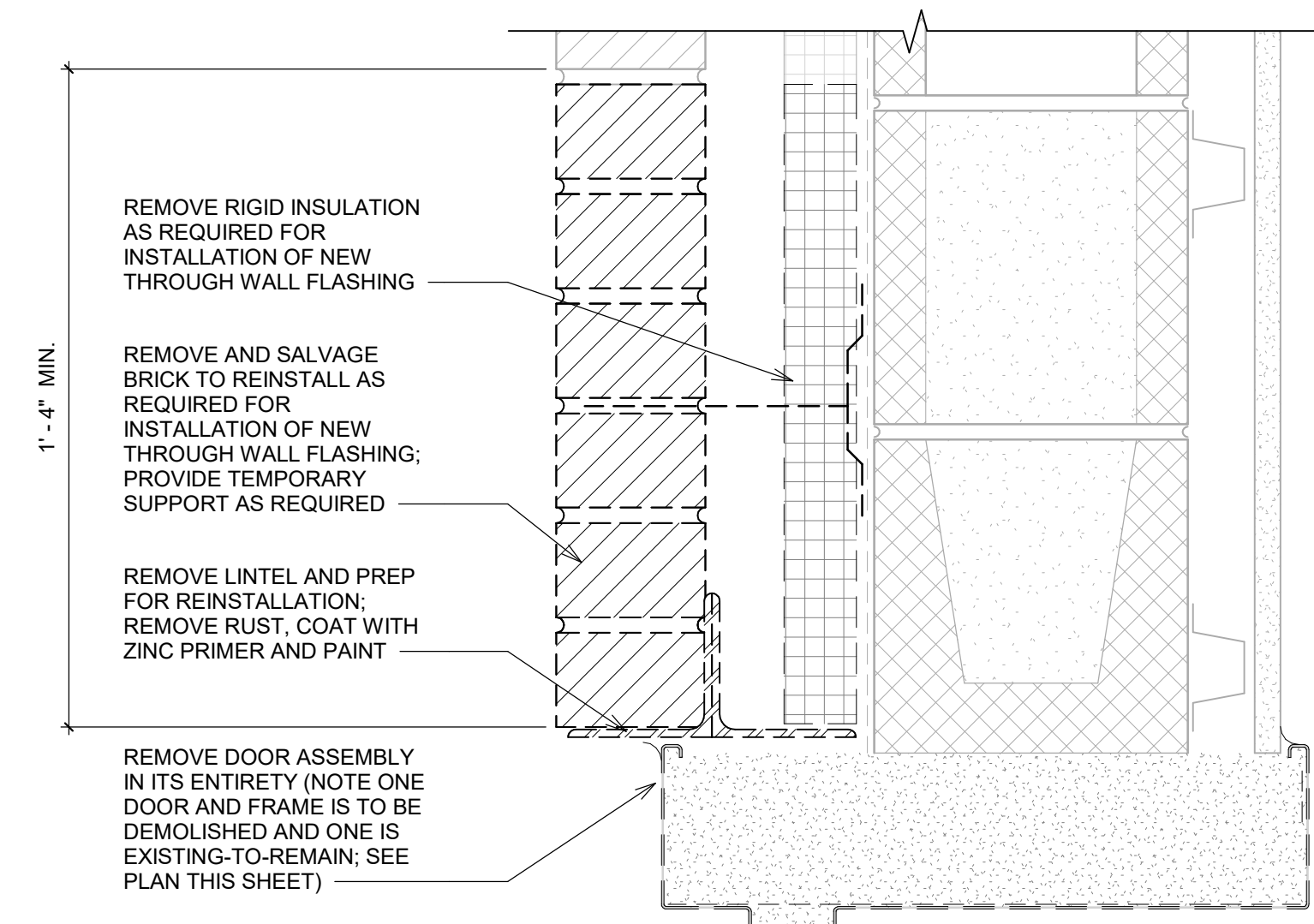
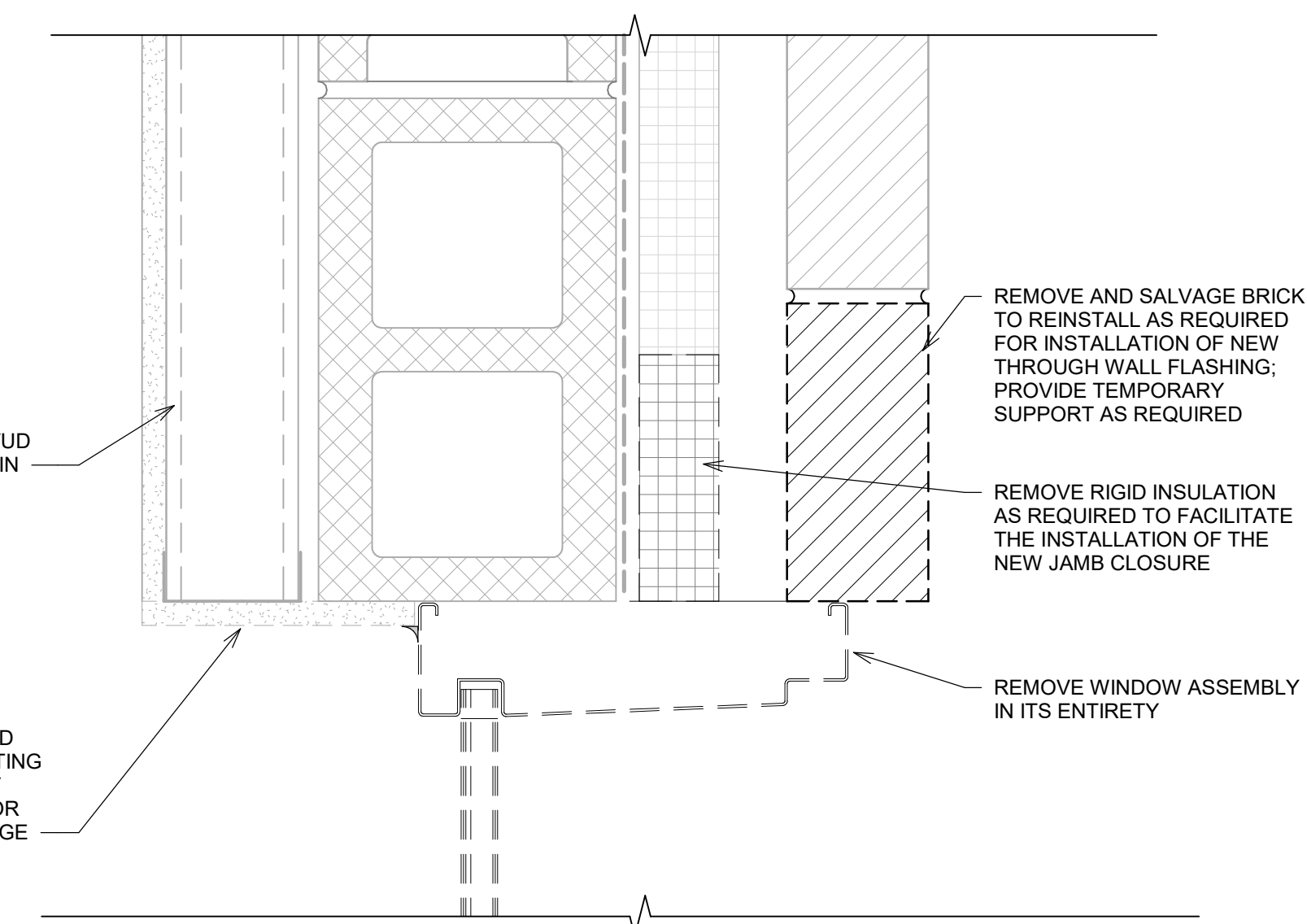
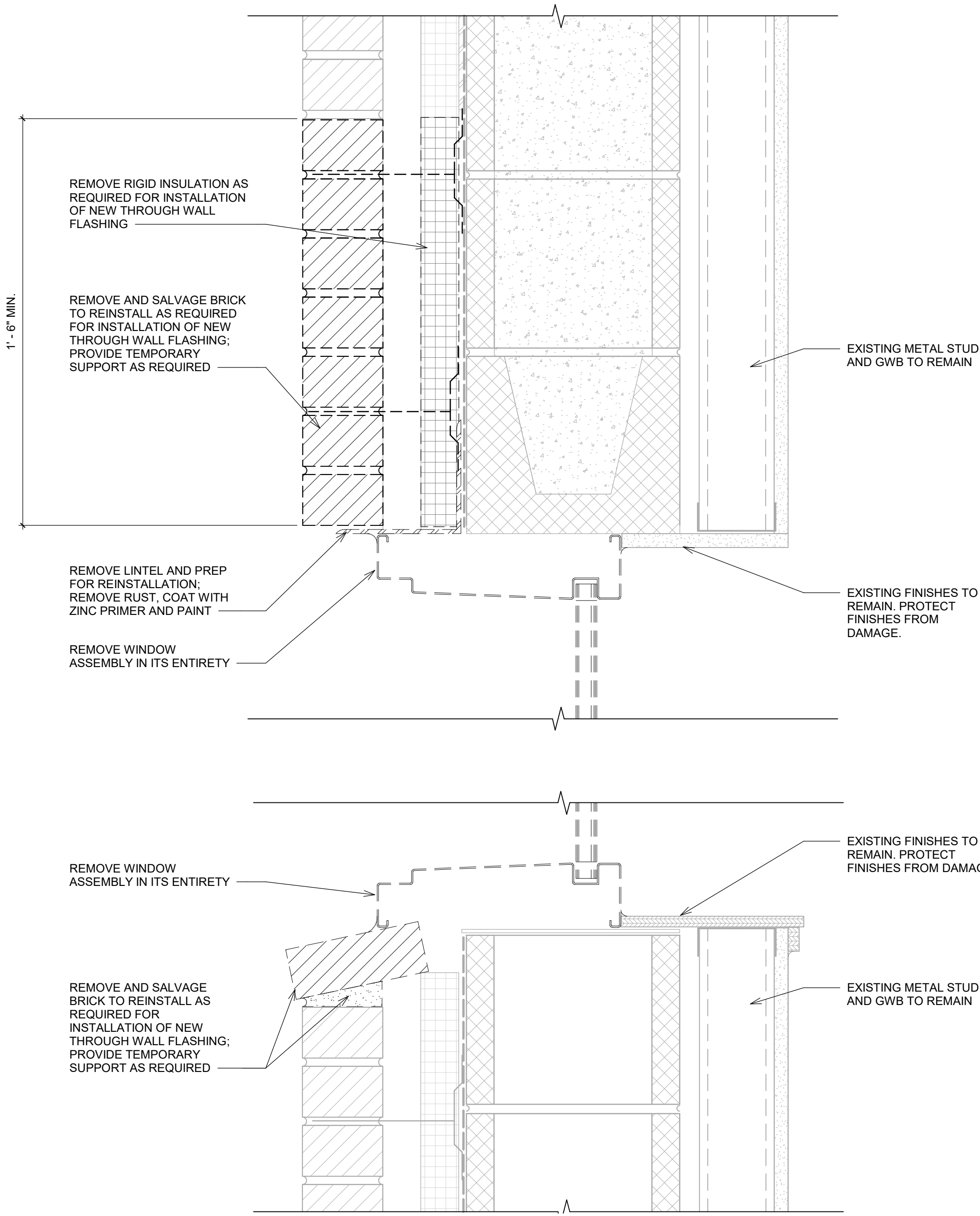
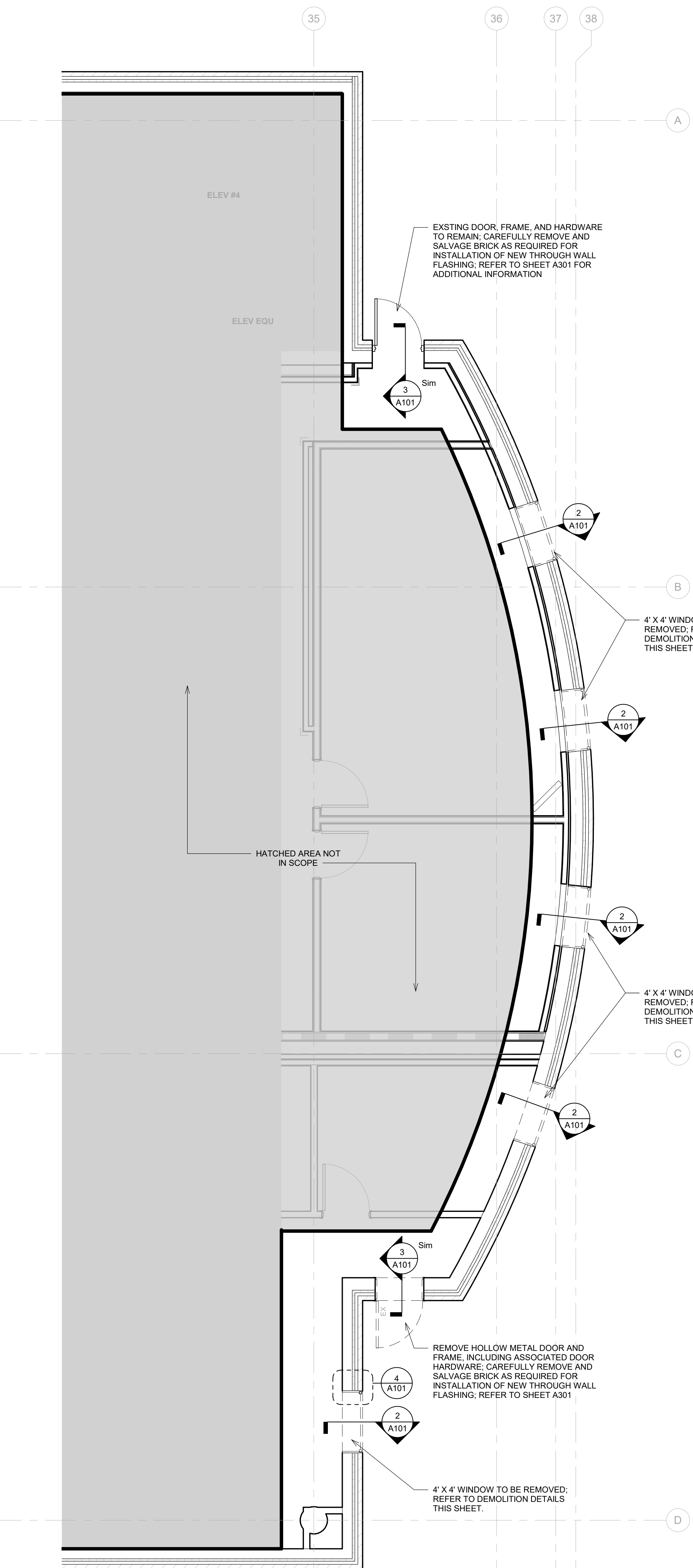
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No.	Date	Description

DEMOLITION FLOOR PLAN & DETAILS

# A101

PROJECT: 45533.38  
 DATE: 02.05.2024

LINE IS 3 INCHES WHEN PRINTED FULL SIZE



CONTRACTOR SHALL NOT REMOVE ANY WINDOW OR DOOR THAT CANNOT BE REPLACED IN THE SAME WORK DAY. AT THE END OF WORK DAY ALL EXISTING OPENINGS ARE TO BE WEATHER TIGHT WITH NEW PRODUCTS.

CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO BEGINNING ANY WORK. OWNER HAS TO COORDINATE WITH TENANTS. CONTRACTOR SHALL PROVIDE MINIMUM 5 WORKING DAYS IN ADVANCE OF ANY WORK IN ANY AREA.

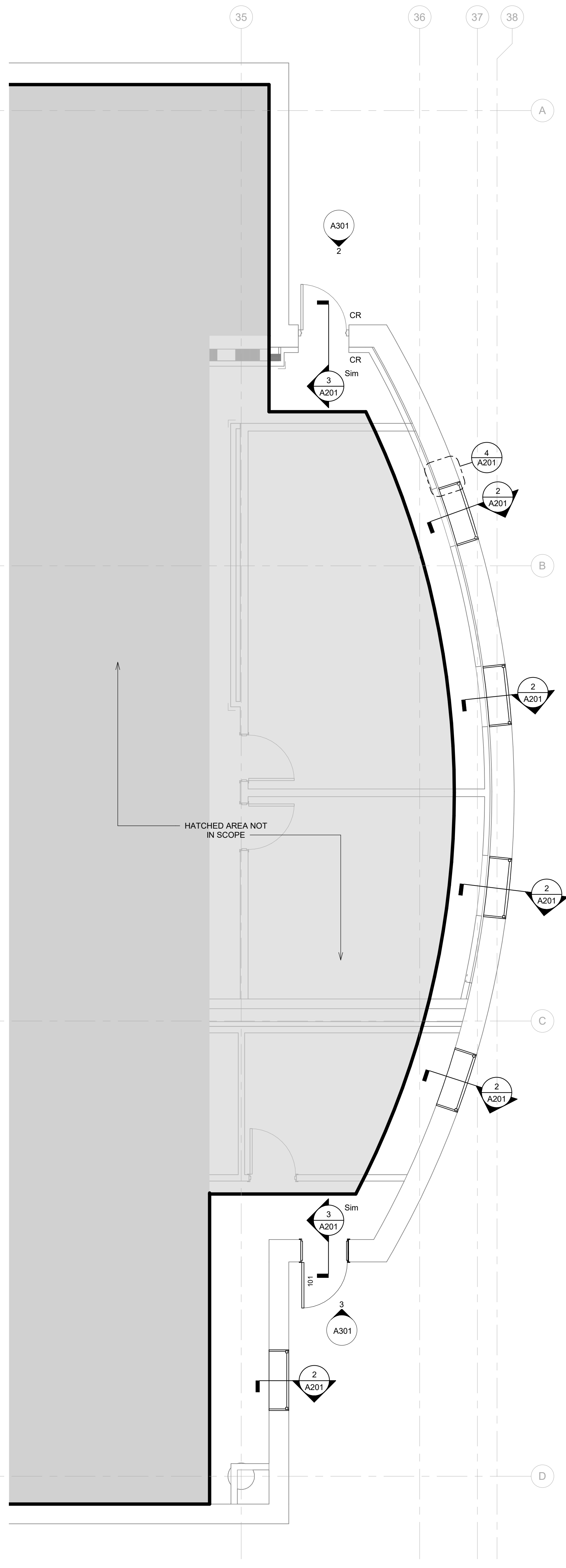
CONTRACTOR SHALL COORDINATE WITH THE TENANT'S OPERATING SCHEDULE.

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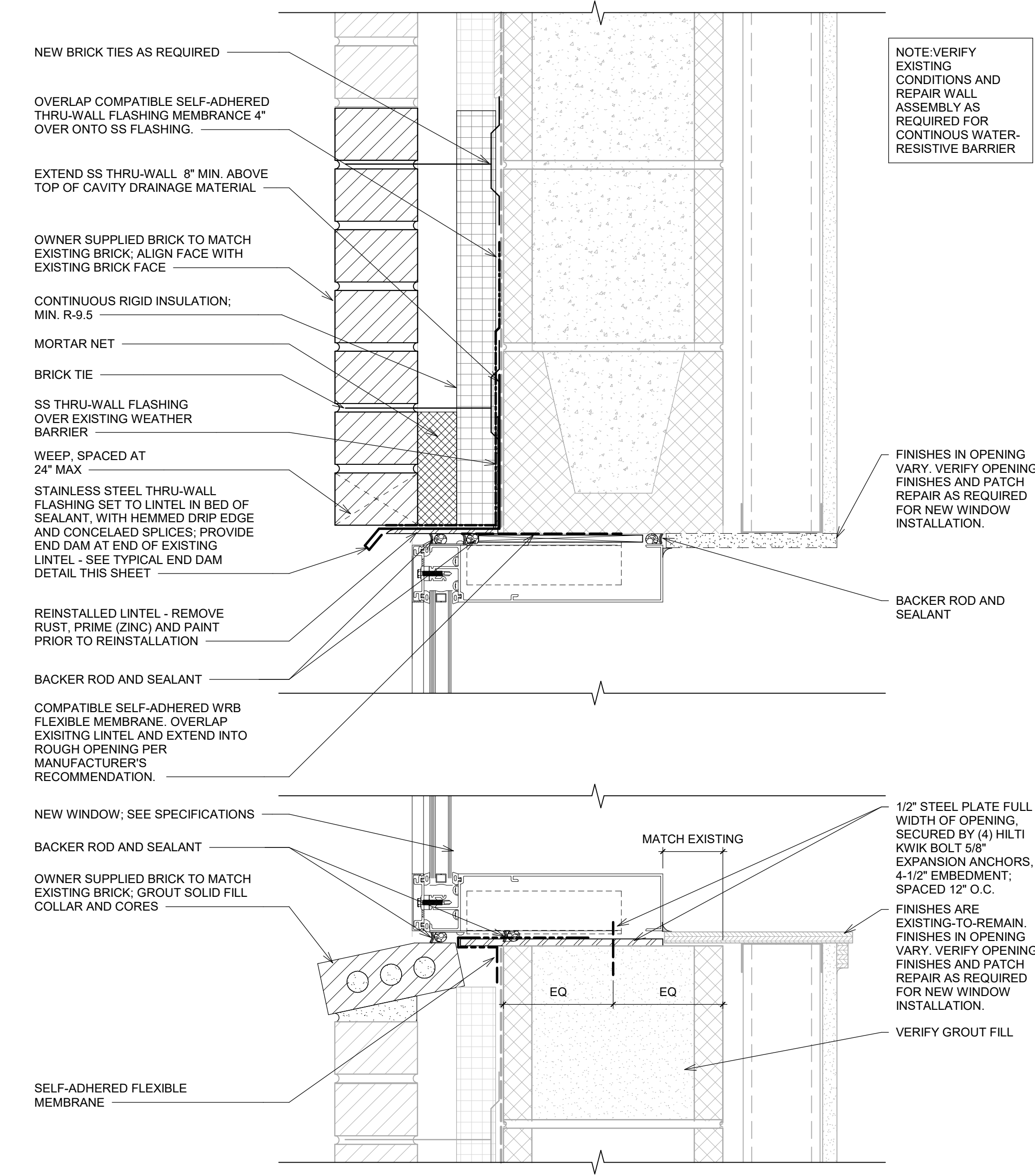
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 Approved By: Approver

**LEGEND**

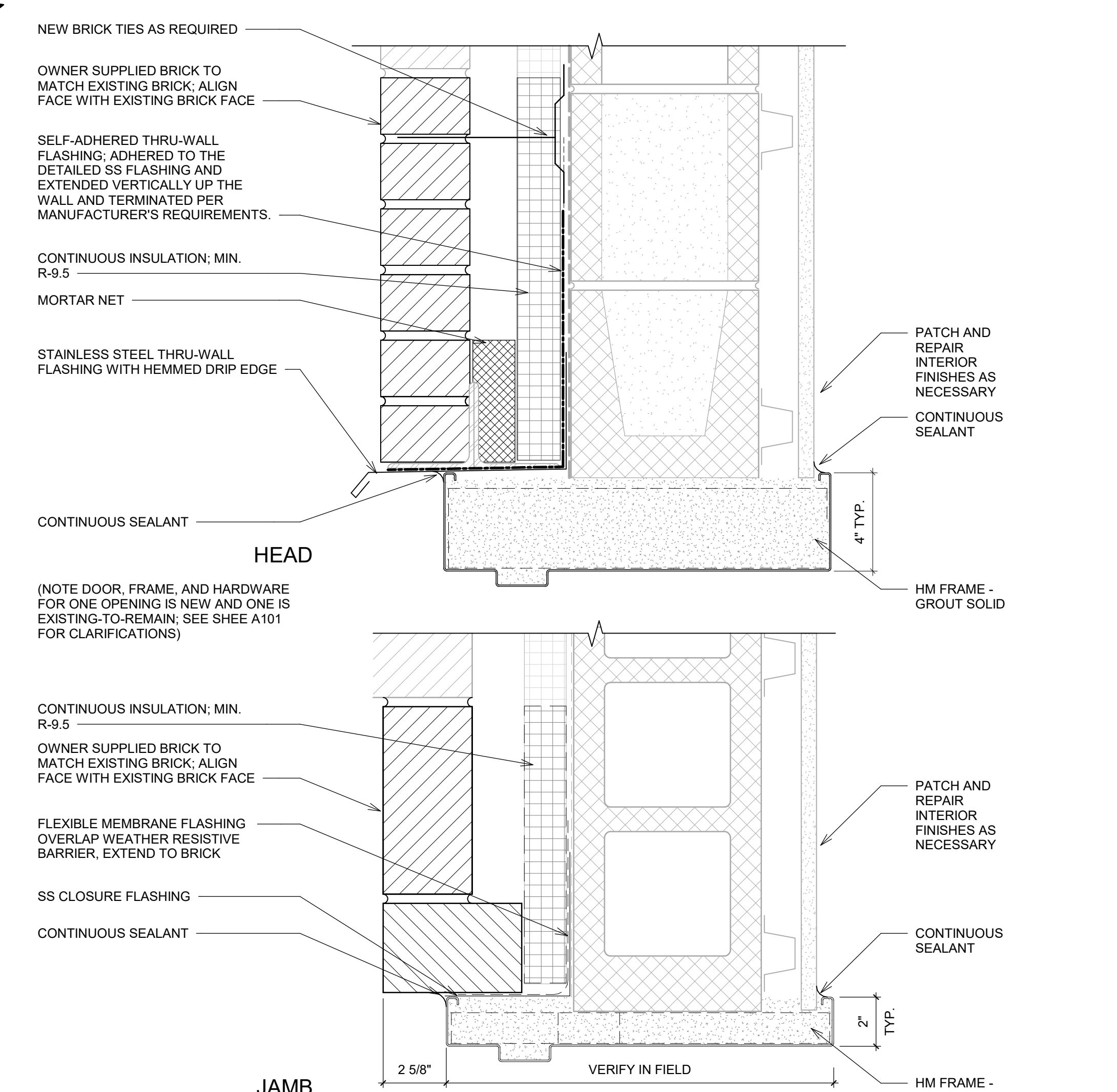
- EXISTING TYPE A - 1 HOUR FIRE BARRIERS TO REMAIN
- EXISTING TYPE C - 2 HOUR FIRE BARRIERS TO REMAIN
- EXISTING TYPE N - NON-RATED PARTITION TO REMAIN
- TYPE A - 1 HOUR FIRE BARRIERS
- TYPE C - 1 HOUR SMOKE BARRIERS
- TYPE N - NON-RATED PARTITION
- CARD READER WITH KEYPAD
- SEE "GENERAL NOTES" ON SHEET G001
- DOOR DESIGNATION (SEE SPECIFICATIONS FOR HARDWARE SCHEDULE)
- GLAZING TYPE DESIGNATION (SEE SHEET A301 FOR WINDOW SCHEDULE AND SPECIFICATIONS FOR GLAZING TYPE)
- COMPLY WITH ALL REQUIREMENTS INCLUDED IN THE "GENERAL NOTES FOR NEW CONSTRUCTION FLOOR PLANS" ON SHEET G001



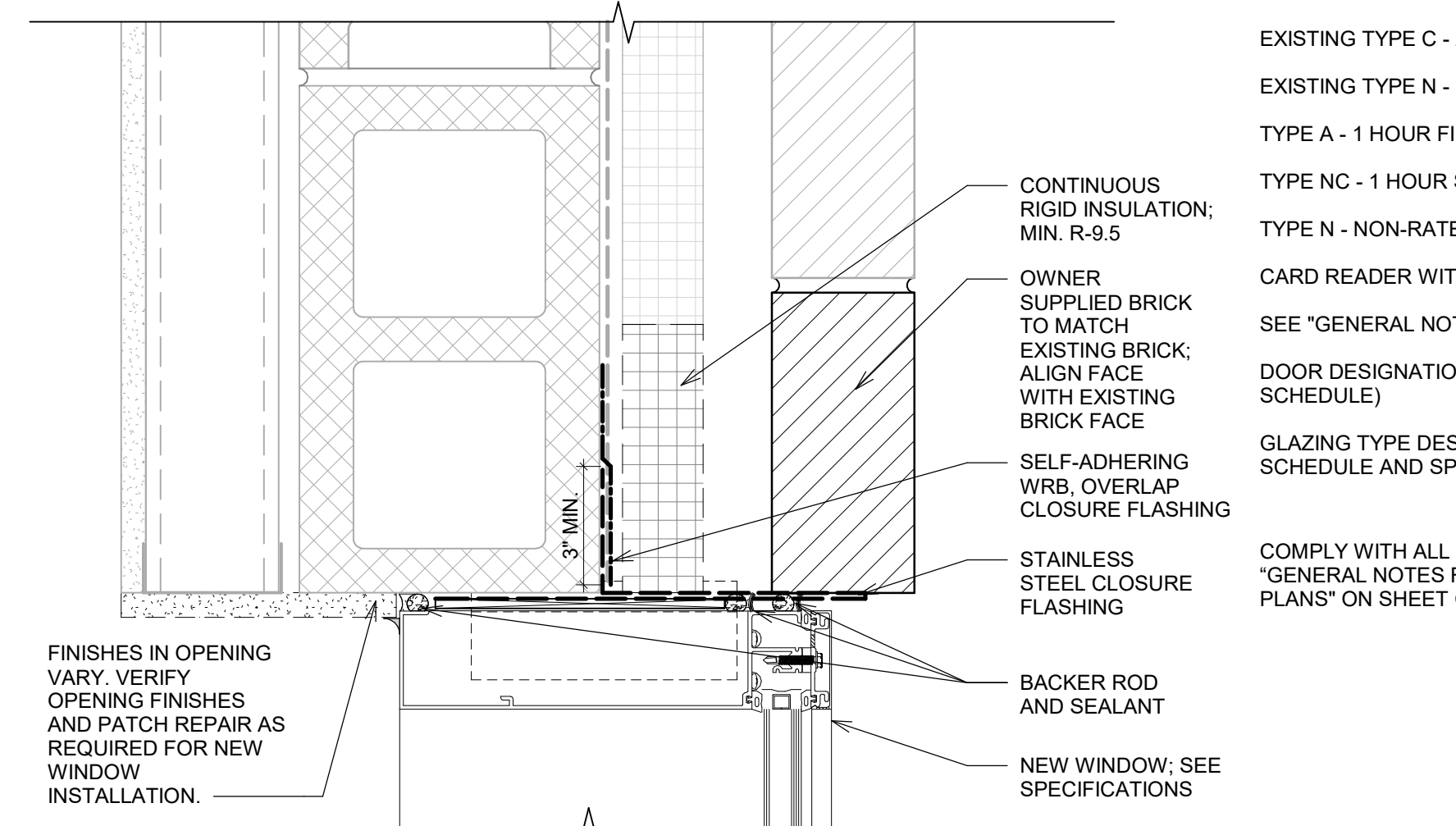
**1 FIRST FLOOR NEW CONSTRUCTION PLAN**  
 1/4" = 1'-0"



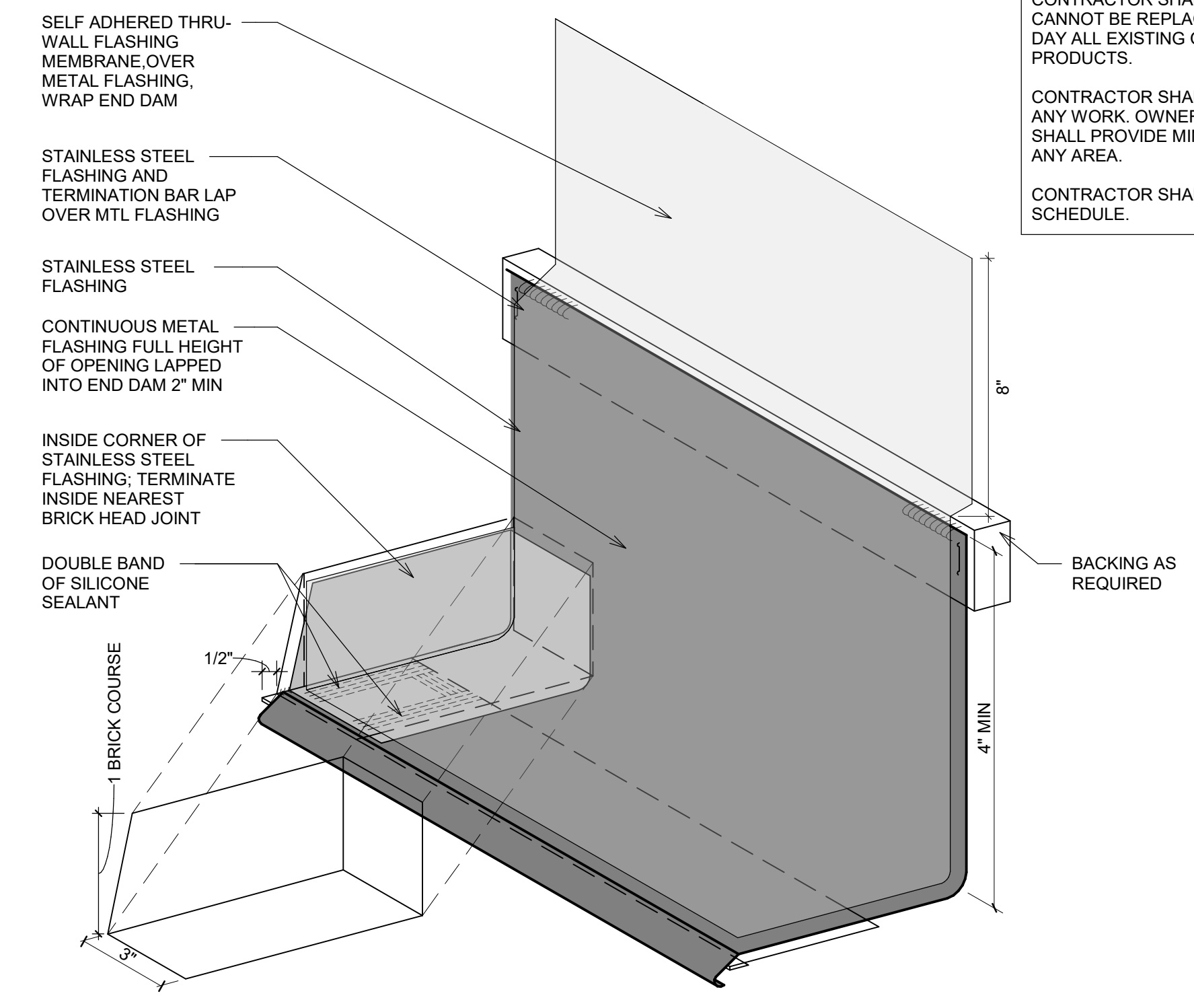
**2 SECTION DETAIL AT WINDOW**  
 3" = 1'-0"



**3 EXTERIOR DOOR DETAILS**  
 3" = 1'-0"



**4 WINDOW JAMB DETAIL**  
 3" = 1'-0"



**5 THRU-WALL FLASHING END DAM AT HEAD**  
 3" = 1'-0"

GENERAL NOTES:  
 1. AIR/WATER BARRIER OMITTED FOR CLARITY.  
 2. END DAMS ARE REQUIRED AT THE ENDS OF ALL LINTELS AND AT ALL TERMINATIONS OF SHELF ANGLES.

IF DURING DEMOLITION IT IS DISCOVERED THAT THE EXISTING WALL CONSTRUCTION DIFFERS FROM WHAT IS SHOWN, CONTACT ARCHITECT IMMEDIATELY.

CONTRACTOR SHALL NOT REMOVE ANY WINDOW OR DOOR THAT CANNOT BE REPLACED IN THE SAME WORK DAY. AT THE END OF WORK DAY ALL EXISTING OPENINGS ARE TO BE WEATHER TIGHT WITH NEW PRODUCTS.  
 CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO BEGINNING ANY WORK. OWNER HAS TO COORDINATE WITH TENANTS. CONTRACTOR SHALL PROVIDE MINIMUM 5 WORKING DAYS IN ADVANCE OF ANY WORK IN ANY AREA.  
 CONTRACTOR SHALL COORDINATE WITH THE TENANT'S OPERATING SCHEDULE.

**DOOR AND FRAME**

SPACE NO. / DOOR DESIGNATION	DOOR						FRAME			REMARKS	
	WIDTH	HEIGHT	THICK	MATL	TYPE	DOOR GAUGE	GLASS	MATL	TYPE		FRAME GAUGE
101	3'-0"	7'-0"	0'-1 3/4"	HM	F	16	NONE	HM	S	14	

**DOOR AND FRAME GENERAL NOTES**

- NOTES:**
- 801.** STUDY AND COMPARE THE: DRAWINGS; LEGENDS; NOTES; SPECIFICATIONS; AND DOOR, FRAME & HARDWARE SCHEDULE. REPORT ANY ERROR, INCONSISTENCY OR OMISSION TO ARCHITECT.
  - 802.** SEAL ALL FRAMES CONTINUOUSLY TO WALL. WHERE THERE IS A HORIZONTAL GAP OF 1/8 INCH OR LESS BETWEEN THE DOOR FRAME AND THE ADJACENT FINISH BASE AND/OR FLOOR MATERIAL, INSTALL A "PENCIL LINE" OF SEALANT BETWEEN THE FRAME AND THE FINISH BASE AND/OR FLOOR MATERIAL. HOWEVER, IF THIS HORIZONTAL GAP IS GREATER THAN 1/8 INCH, THE FINISH BASE AND/OR FLOOR MATERIAL SHALL BE REMOVED AND REINSTALLED TO ELIMINATE THE GAP.
  - 803.** IF THERE IS A VERTICAL GAP OF 1/8 INCH OR GREATER BETWEEN THE BOTTOM OF THE DOOR FRAME AND THE CONCRETE SLAB, THIS GAP SHALL BE REPAIRED WITH "BONDO" OR "GROUTED SOLID" TO PROVIDE "TESTED FIRESTOP ASSEMBLY". THIS REPAIR SHALL COMPLY WITH THE REQUIREMENTS OF NFPA 80.
  - 804.** ALL THRESHOLDS SHALL CONFORM TO THE MOST STRINGENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND ALL OTHER ACCESSIBILITY CODES ENFORCED BY THE AUTHORITIES HAVING JURISDICTION.
  - 805.** VERIFY THAT DOOR CLOSERS AND OTHER HARDWARE WILL ALLOW DOOR TO SWING OPEN 180 DEGREES WHEN A "180 DEGREE SWING" IS EITHER SHOWN ON THE FLOOR PLAN AND/OR INDICATED IN THE DOOR SCHEDULE.
  - 806.** INSTALLATION OF DOORS, HARDWARE AND FRAMES SHALL COMPLY WITH ALL REQUIREMENTS OF NFPA 80 AND WITH OTHER CODES ENFORCED BY THE AUTHORITIES HAVING JURISDICTION.
  - 807.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FIRE ALARM AND SECURITY SYSTEM INTEGRATION WITH THE OWNER PRIOR TO DEMOLITION.

**ABBREVIATIONS:**

- ALUM ALUMINUM
- ETR EXISTING TO REMAIN
- HM HOLLOW METAL
- HM-FW HOLLOW METAL - FULLY WELDED SEAMLESS EDGE
- HM-KD HOLLOW METAL - KNOCK-DOWN
- LAM GL LAMINATED SAFETY GLASS
- MEX MATCH EXISTING
- OPP HD; OH OPPOSITE HAND
- PR PAIR OF DOORS
- SOUND SOUND DOOR (FLUSH DOOR TYPE)
- SIM SIMILAR

1 RICHARD E BYRD  
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NEW CONSTRUCTION  
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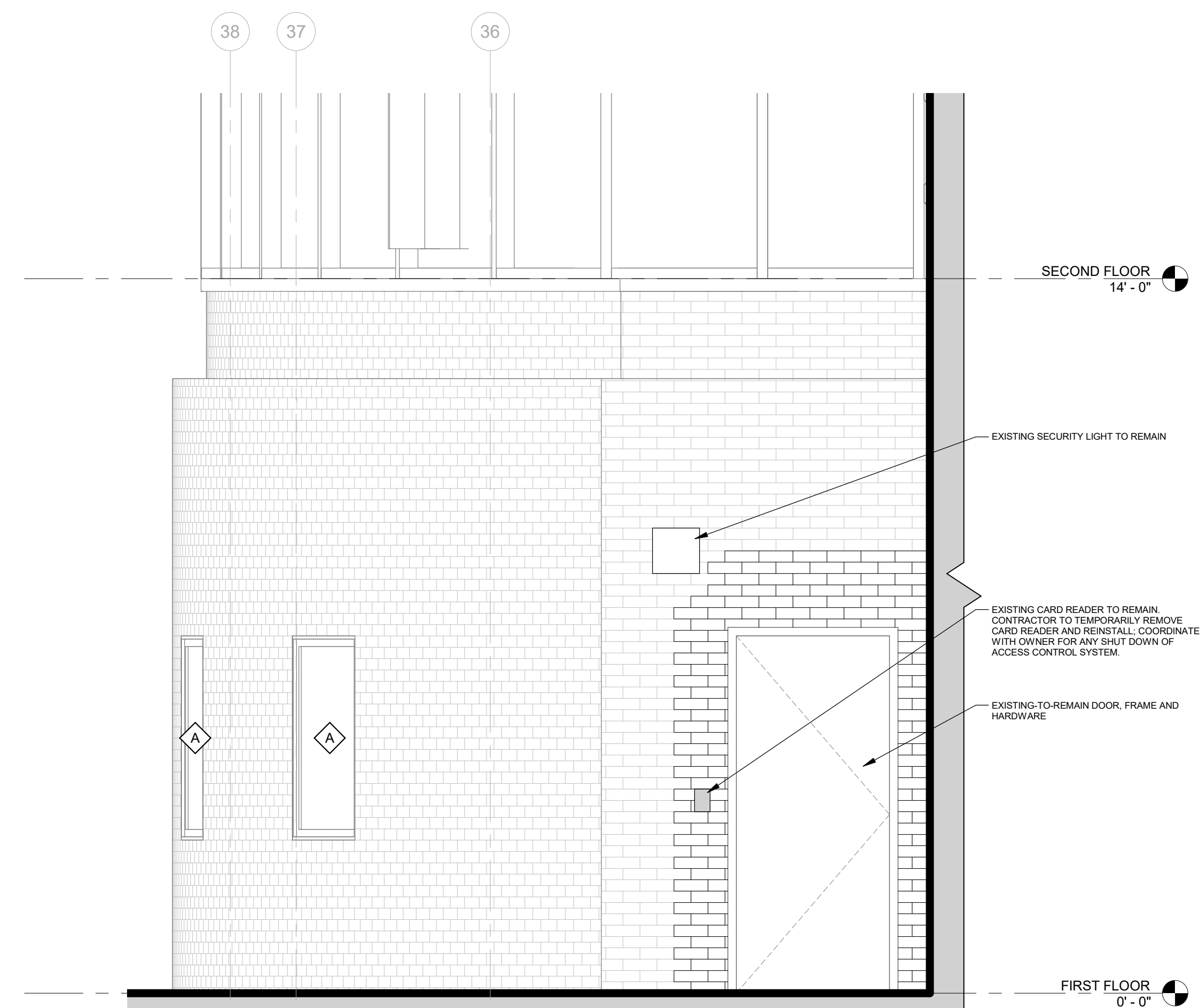
**A201**

Drawn By: Author  
 Checked By: Checker  
 Approved By: Approver

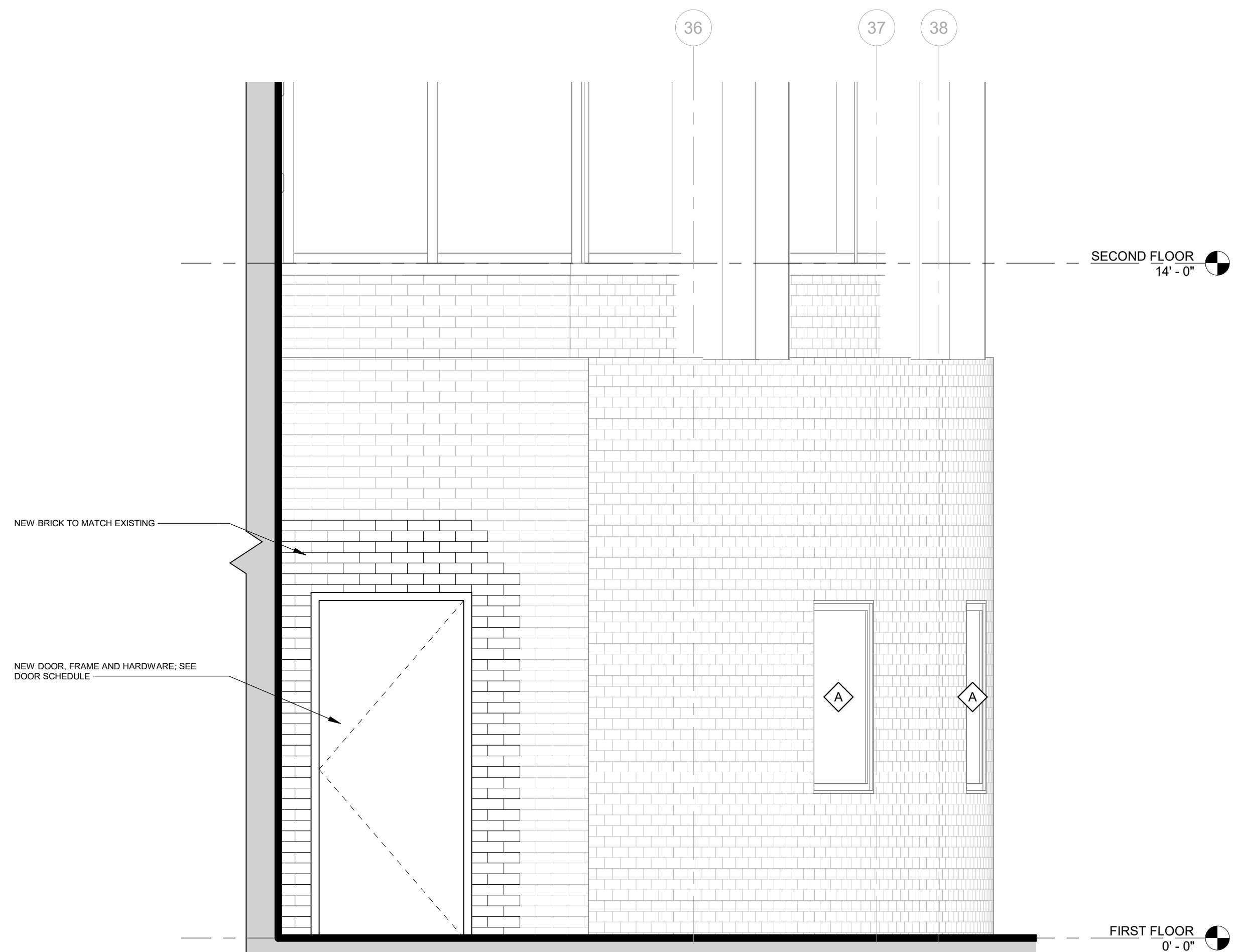
**LEGEND**

EXTERIOR WINDOW DESIGNATION

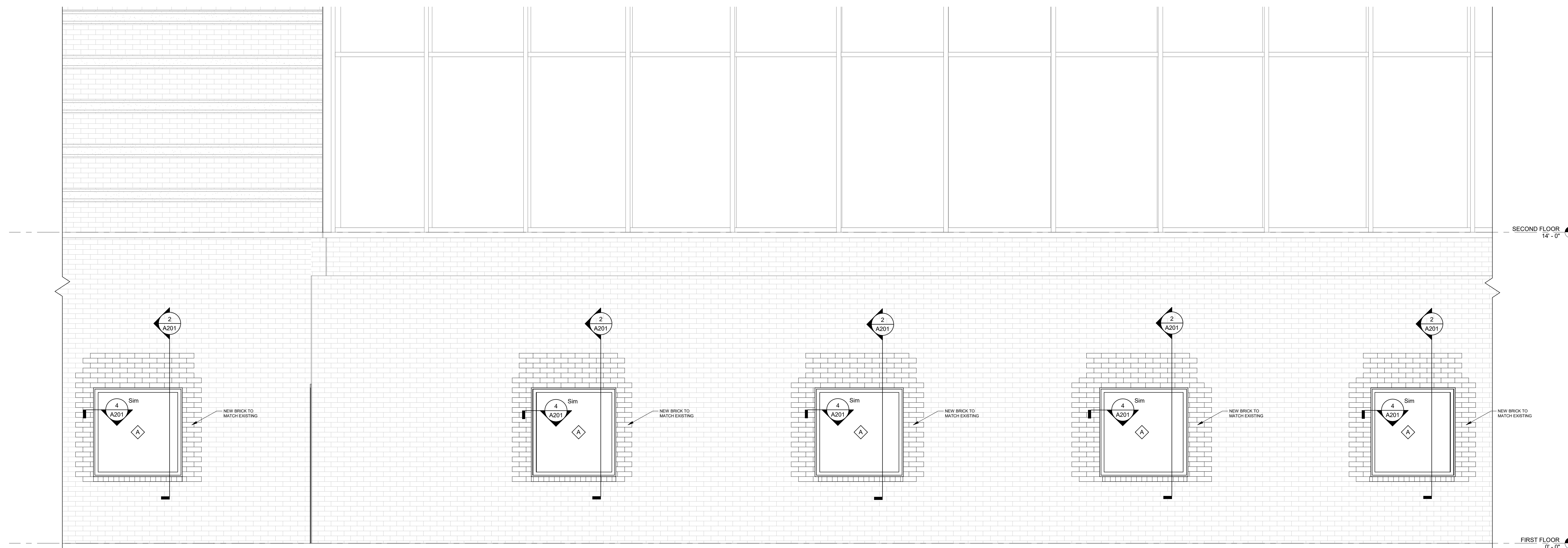
Window Schedule			
Mark	Width	Height	Comments
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD
A	4' - 0"	4' - 0"	VERIFY DIMENSIONS IN FIELD



**2 EAST ELEVATION - FIS DOOR**  
 1/2" = 1'-0"



**3 WEST ELEVATION - DELTA DOOR**  
 1/2" = 1'-0"



**1 EXTERIOR SOUTH ELEVATION**  
 1/2" = 1'-0"



GreshamSmith.com

919 East Main Street  
 Suite 1200  
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1 RICHARD E BYRD  
 TERMINAL DRIVE

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EXTERIOR  
 ELEVATIONS

**A301**

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