

SECTION EIGHT

VIII. ARCHITECTURAL SPECIFICATIONS AND DRAWINGS



**BERKELEY MIDDLE SCHOOL INTERIOR RENOVATION-
PAINT AND CARPET**

Guernsey Tingle

4350 New Town Avenue, Suite 101
Williamsburg, VA 23188

SCHEDULE OF DRAWINGS	
GENERAL	
G-101	TITLE SHEET
ARCHITECTURAL	
A-001	LEGENDS AND ABBREVIATIONS
A-030	ARCHITECTURAL SPECIFICATIONS
A-031	ARCHITECTURAL SPECIFICATIONS
A-101	FLOOR PLAN – FIRST FLOOR
A-102	ENLARGED FLOOR PLAN – AREA A ALTERATIONS
A-103	ENLARGED FLOOR PLAN – AREA B ALTERATIONS
A-104	ENLARGED FLOOR PLAN – AREA C ALTERATIONS
A-105	ENLARGED FLOOR PLAN – AREA D ALTERATIONS
A-106	ENLARGED FLOOR PLAN – MEDIA CENTER ALTERATIONS
A-601	HOLLOW METAL FRAME ELEVATIONS & DETAILS
A-602	HOLLOW METAL FRAME ELEVATIONS & DETAILS

WJCC BERKELEY MIDDLE SCHOOL FINISHES

1118 Ironbound Rd, Williamsburg, VA 23188

BUILDING CODE SUMMARY

THIS IS AN INTERIOR RENOVATION OF AN EXISTING SPACE THAT IS A LEVEL I ALTERATION. CARPETING WILL BE REMOVED AND REPLACED IN CERTAIN AREAS. WALLS AND STOREFRONT WILL BE PAINTED.

ALL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF:
• 2018 VIRGINIA EXISTING BUILDING CODE

BUILDING DATA:

OCCUPANCY CLASSIFICATION: E, EDUCATIONAL
CONSTRUCTION TYPE: TYPE 2A
FIRE SUPPRESSION SYSTEM: YES
ALLOWABLE BUILDING AREA AND HEIGHT (IBC 507.3):
ALLOWABLE AREA: BASE ALLOWED EXISTING TO REMAIN
FRONTAGE INCREASE EXISTING TO REMAIN
TOTAL ALLOWABLE AREA EXISTING TO REMAIN
ACTUAL AREA: EXISTING TO REMAIN
ALLOWABLE HEIGHT: EXISTING TO REMAIN
ACTUAL HEIGHT: EXISTING TO REMAIN

OCCUPANCY:

OCCUPANCY LOAD IS EXISTING TO REMAIN

FIRE RESISTANCE RATINGS:

STRUCTURAL FRAME: EXISTING TO REMAIN
BEARING EXTERIOR WALLS: EXISTING TO REMAIN
BEARING INTERIOR WALLS: EXISTING TO REMAIN
NON BEARING EXTERIOR WALL: EXISTING TO REMAIN
NON BEARING INTERIOR WALL: EXISTING TO REMAIN
FLOOR CONSTRUCTION: EXISTING TO REMAIN
ROOF CONSTRUCTION: EXISTING TO REMAIN
CORRIDOR WALLS: EXISTING TO REMAIN

MATERIAL FINISH RATINGS: (REQUIRED)

CORRIDORS: CLASS 2 FLOORS AND CLASS B WALLS AND CEILINGS
ROOMS AND AREAS: CLASS 2 FLOORS AND CLASS C WALLS AND CEILINGS

LIFE SAFETY SYSTEM:

EMERGENCY LIGHTING: YES
EXIT SIGNS: YES
FIRE DETECTION SYSTEM: YES

EXIT REQUIREMENTS:

EDUCATIONAL / GROUP "E"
DEAD-END LIMIT MAXIMUM
COMMON PATH OF EGRESS TRAVEL:
MAXIMUM TRAVEL TO EXIT:
ACTUAL (MAXIMUM) TRAVEL TO EXIT:
MINIMUM NUMBER OF EXITS:
EGRESS WIDTH:
EXISTING TO REMAIN
EXISTING TO REMAIN
EXISTING TO REMAIN
EXISTING TO REMAIN
EXISTING TO REMAIN
EXISTING TO REMAIN

REQUIRED PLUMBING FIXTURES

PLUMBING FIXTURE COUNTS TO REMAIN UNCHANGED.

GENERAL CONSTRUCTION NOTES

- G.C. SHALL INSPECT ALL DRAWINGS IMMEDIATELY UPON RECEIPT & REPORT ANY DISCREPANCIES, CONFLICTS, ERRORS, OR OMISSIONS DISCOVERED. THIS INCLUDES COORDINATION WITH MEP/OTHER TRADES.
- G.C. IS RESPONSIBLE FOR ENSURING ALL WORK IS DONE IN ACCORDANCE WITH ACCEPTED CONSTRUCTION STANDARDS & IN COMPLIANCE WITH ALL BUILDING CODES, ORDINANCES & REGULATIONS OF ALL CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THESE PLANS & SPECIFICATIONS UNLESS A WRITTEN VARIANCE IS APPROVED BY THE OWNER.
- G.C. & ALL SUBCONTRACTORS SHALL VISIT & INSPECT THE PREMISES PRIOR TO SUBMITTING A PROPOSAL. SUBMISSION OF A PROPOSAL CONSTITUTES AN AGREEMENT THAT THE G.C. INCLUDED ALL ITEMS NECESSARY TO ACCOMMODATE THE EXISTING CONDITIONS. ANY CONDITIONS IN CONFLICT WITH THESE DRAWINGS & SPECIFICATIONS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY UPON DISCOVERY. DESIGNER CANNOT BE HELD RESPONSIBLE FOR ANY HIDDEN CONDITIONS.
- G.C. SHALL OBTAIN ALL PERMITS & THE CERTIFICATE OF OCCUPANCY, UNLESS NOTED OTHERWISE.
- MATERIALS SHALL BE DELIVERED & STORED IN ORIGINAL, UNOPENED PROTECTIVE PACKAGING. INSPECT LABELS IMMEDIATELY UPON DELIVERY FOR ACCURACY. STORE & INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PREVENT DAMAGE TO MATERIALS & SURROUNDING SURFACES WHEN HANDLING.
- G.C. SHALL KEEP A CLEAN & SECURE JOB SITE & TAKE ADEQUATE MEASURES TO PROTECT BUILDING & SITE OCCUPANTS & ITEMS SALVAGED FOR REUSE & IS RESPONSIBLE FOR RETURNING ANY DAMAGED ITEMS TO "LIKE NEW" CONDITION. OCCUPIED/PUBLIC AREAS SHALL BE KEPT CLEAR OF CONSTRUCTION MATERIALS. SECURITY, NOISE, & DUST BARRIERS SHALL BE MAINTAINED BY G.C. BETWEEN AREAS OF CONSTRUCTION & OCCUPIED/PUBLIC AREAS.
- G.C. SHALL PERFORM FINAL CLEANING PRIOR TO END USE OCCUPANCY TO INCLUDE: VACUUMING & REMOVAL OF DUST, DEBRIS, OILS, STAINS, FINGERPRINTS, LABELS & WALLCOVERING ADHESIVE.
- G.C. IS RESPONSIBLE FOR PROVIDING A COMPLETE & OPERATIONAL SPACE.
- WITHIN 30 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE REPRODUCIBLE SCALED AS-BUILTS TO THE OWNER & THE ARCHITECT. THESE AS-BUILTS SHALL REFLECT FINAL FIELD CONDITIONS AT PROJECT COMPLETION.
- WITHIN 60 DAYS OF PROJECT COMPLETION, G.C. SHALL PROVIDE THE END USER WRITTEN DOCUMENTATION OF ALL WARRANTIES & RECOMMENDED MAINTENANCE PROCEDURES FOR ALL EQUIPMENT & FINISH MATERIALS.
- TO THE BEST OF OUR KNOWLEDGE & INFORMATION, THESE DRAWINGS HAVE BEEN PREPARED IN CONFORMITY WITH ANSI STANDARD A117.1 2009 & ADA TITLE III FOR MAKING BUILDINGS & FACILITIES ACCESSIBLE TO & USABLE BY PERSONS WITH DISABILITIES. ALTERATIONS, EXCEPTIONS & DELETIONS TO THESE RULES BY THE RESIDING JURISDICTION HAVE BEEN ACCOMMODATED TO THE BEST OF OUR KNOWLEDGE.
- OMISSIONS: IF CERTAIN FEATURES ARE NOT FULLY SHOWN OR CALLED OUT ON THE DRAWINGS OR NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED OUT.
- INSTALLATION OF ALL PRODUCTS SHALL BE AS REQUIRED BY THE MANUFACTURER'S LATEST WRITTEN INSTRUCTIONS AT THE TIME OF PERMITTING.
- CONTROLS & OPERATING MECHANISMS FOR ALL FIXTURES & FURNISHINGS SHALL BE OPERABLE BY A FORCE OF NO GREATER THAN 5 LBF WITH ONE HAND & NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO ACTIVATE CONTROLS.
- THE SELECTED CONTRACTOR SHALL SUPPLY ALL MISC. BLOCKING, BRACING, METAL, TRIM, FASTENERS, HARDWARE, ETC AS REQUIRED TO COMPLETE THE WORK HEREIN.
- ALL REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY ADA/ACCESSIBILITY SIGNAGE HAVING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, TO BE INSTALLED IN ACCORDANCE WITH IBC SECTION 1013.4 (EXIT SIGNS), SECTION 1111 (ACCESSIBILITY SIGNAGE), AND ANSI 117.1 SECTION 703 (SIGNS) ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR OR NEAREST ADJACENT WALL. REFER TO SHEET A-001 FOR SIGN DETAILS AND SIGNAGE PLANS, IF INCLUDED, FOR SIGN LOCATIONS.
- G.C. SHALL REVIEW SPECIFICATIONS & DRAWINGS & VERIFY LEAD TIMES AT TIME OF BID/PRICING SUBMISSION.
- ITEMS INDICATED AS "SALVAGED" SHALL BE RELOCATED FROM THE EXISTING BUILDING & INSTALLED BY THE CONTRACTOR.

BID ALTERNATE #1: ALL WORK ASSOCIATED WITH THE MEDIA CENTER CASEWORK

ASBESTOS / LEAD PAINT TESTING:

Renovation or Demolition Asbestos Abatement Statement (greater than four dwelling units):

The Owner has performed a thorough asbestos inspection and subsequent reporting as required by OSHA: 29 CFR 1926 (Construction and Maritime), EPA NESHAP: 40 CFR 61 Subpart M, and the Code of Virginia Chapter 3.3, Virginia Asbestos NESHAP Act, Sections 40.1-51.23 to 40.1-51.41. Renovation or demolition of buildings are subject to asbestos NESHAP, regardless of the structure's age. Asbestos abatement is the responsibility of the Contractor, per OSHA regulations, and is included as part of this scope of work.

Child-Occupied Facilities Renovation or Demolition Lead-Based Paint Abatement Statement:

The Owner has performed a lead-based paint inspection and subsequent reporting as required by Title X, EPA Renovate, Repair, and Paint Rule (40 CFR 745) and current HUD Chapter 7 Guidelines (if HUD or federal funding is involved in the project funding). Individuals disturbing lead must be properly trained when disturbing any potentially lead-based paint elements, per the EPA's Lead Renovation, Repair, and Painting Rule (RRP). Lead-based paint abatement is the responsibility of the Contractor, per the applicable regulations, and is included as part of this scope of work.

VICINITY PLAN



DRAWING INDEX

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PROJECT TEAM

OWNER
WILLIAMSBURG JAMES CITY COUNTY SCHOOLS
JIM FALZONE
597 JOLLY POND
WILLIAMSBURG, VA 23188

ARCHITECT

GUERNSEYTINGLE
4350 NEW TOWN AVENUE, SUITE 101
WILLIAMSBURG, VIRGINIA 23188
757-220-0220

REVISION SCHEDULE	DESCRIPTION	DATE	INITIALS
#			

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TITLE SHEET

STEPHANIE L. KALANTARIANS
Lic. No. 013629
3/1/2024
ARCHITECT

Date: 3/1/2024
Drawn: TOG Checked: SLK
Project: 223133

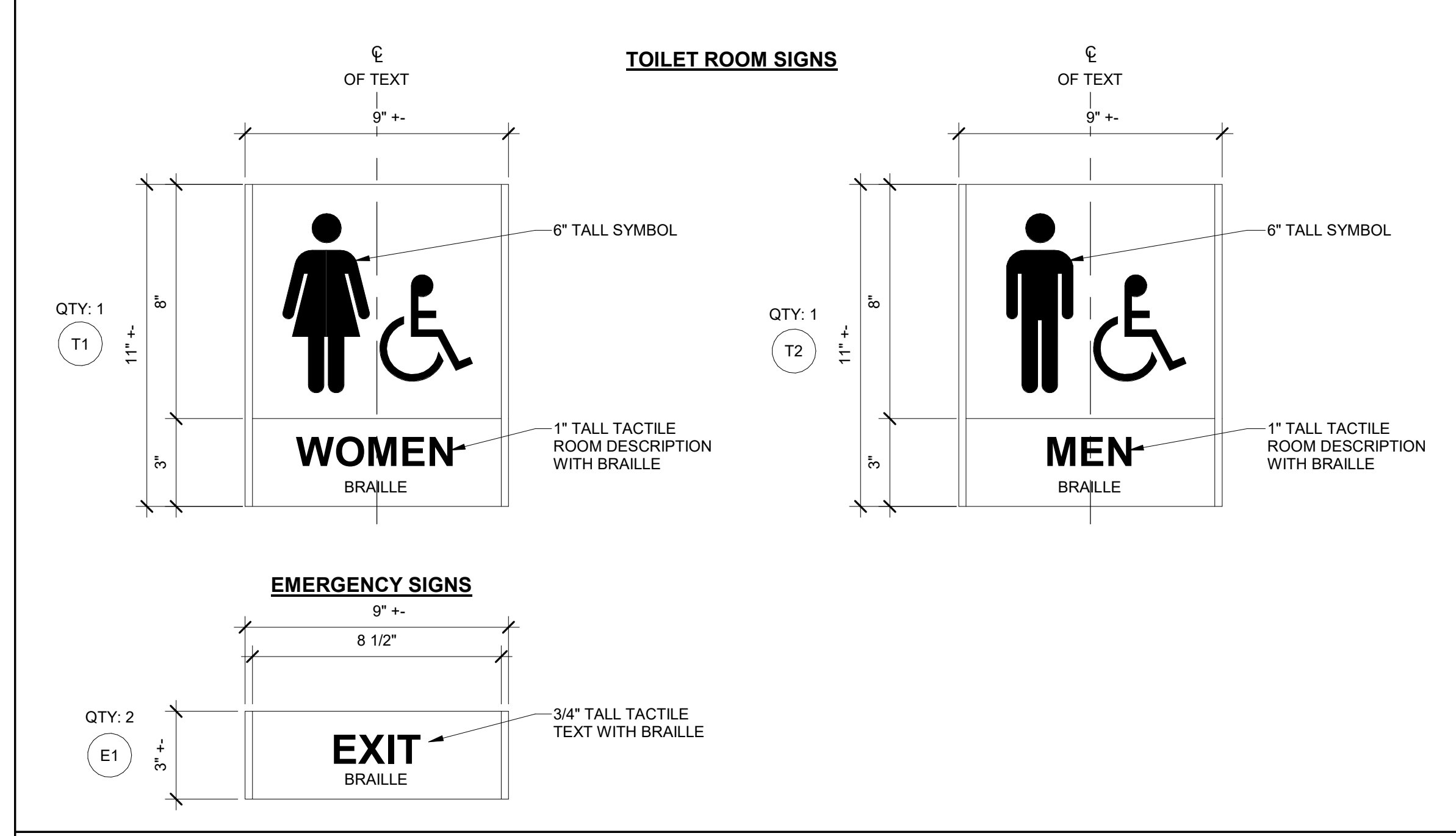
G-101
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ABBREVIATIONS

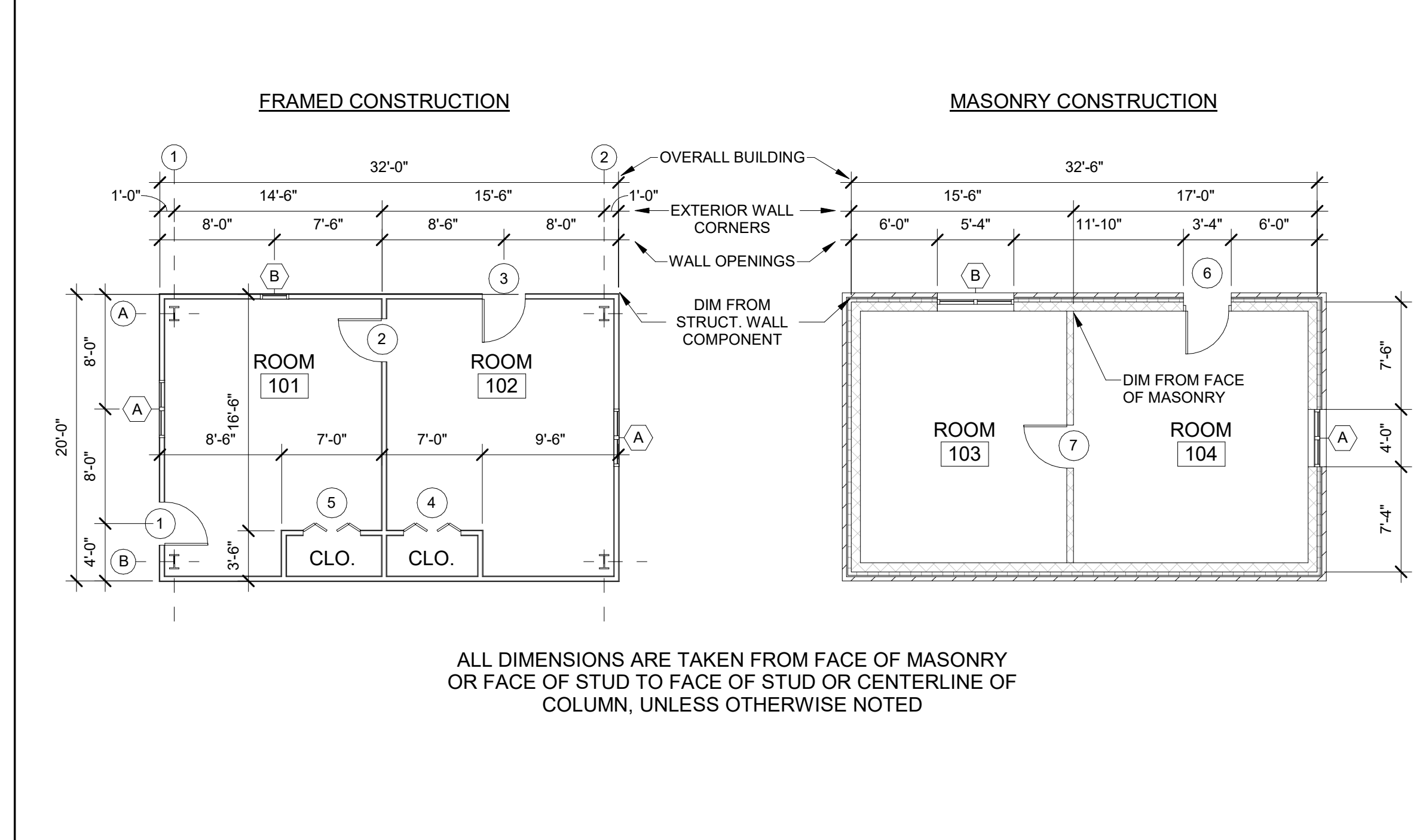
A/C	AIR CONDITIONING	N	NORTH
ACT	ACOUSTICAL CEILING TILE	NEC	NATIONAL ELECTRICAL CODE
ADA	AMERICANS WITH DISABILITIES ACT	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ADJ	ADJUSTABLE	NO	NUMBER
AFF	ABOVE FINISHED FLOOR	NOM	NOMINAL
AFG	ABOVE FINISHED GRADE	NRC	NOISE REDUCTION COEFFICIENT
AGG	AGGREGATE	NTS	NOT TO SCALE
AHU	AIR HANDLING UNIT	OC	ON CENTER
ALUM	ALUMINUM	OD	OUTSIDE DIAMETER
ALT	ALTERNATE	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ANCH	ANCHOR, ANCHORAGE	OFOI	OWNER FURNISHED, OWNER INSTALLED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OH	OVERHEAD
APPROX	APPROXIMATE	OPP	OPPOSITE
ARCH	ARCHITECT, ARCHITECTURAL	OTS	OPEN TO STRUCTURE
ATTEN	ATTENUATION	PAR	PARALLEL
AVG	AVERAGE	PART	PARTIAL
BOT	BOTTOM	PC	PRECAST
BD	BOARD	PCT	PORCELAIN CERAMIC TILE
BFG	BELOW FINISHED GRADE	PL	PROPERTY LINE
BIT	BITUMINOUS	PLAM	PLASTIC LAMINATE
BLDG	BUILDING	PLUMB	PLUMBING
BLKG	BLOCKING	PLY	PLYWOOD
BRG	BEARING	PREFAB	PREFABRICATE, PREFABRICATED
CAB	CABINET	PREFIN	PREFINISHED
OFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	PREP	PREPARE
CJ	CONTROL JOINT	PSF	POUNDS PER SQUARE FOOT
CL	CLEAR, CENTERLINE	PSI	POUNDS PER SQUARE INCH
CLO	CLOSET	PT	PAINT
C/L	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLG	CEILING	QT	QUARRY TILE
CLR	CLEAR	QTY	QUANTITY
CMU	CONCRETE MASONRY UNIT	R	RADIUS, RISER
COL	COLUMN	RAD	RADIUS
COMM	COMMUNICATION	RB	RESILIENT BASE, RUBBER BASE
CONC	CONCRETE	PLR	REFLECTED CEILING PLAN
CONST	CONSTRUCTION	RD	ROOF DRAIN
CONT	CONTINUOUS	REC	RECEPTACLE
CORD	COORDINATE	REF	REFERENCE
CORR	CORRIDOR, CORRUGATED	REINF	REINFORCING
CPT	CARPET	REQD	REQUIRED
CT	CERAMIC TILE	RH	RIGHT HAND
D	DEEP, DEPTH, DRAIN	RM	ROOM
DBL	DOUBLE	RO	ROUGH OPENING
DEG	DEGREE	S	SOUTH
DEMO	DEMOLITION	SAN	SANITARY
DIA	DIAMETER	SECT	SECTION
DIM	DIMENSION	SF	SQUARE FEET
DN	DOWN	SIM	SIMILAR
DWG	DRAWING	SND	SANITARY NAPKIN DISPOSAL
E	EAST	SPEC	SPECIFICATION
EA	EACH	SQ	SQUARE
EF	EXHAUST FAN	SS	STAINLESS STEEL, SOLID SURFACE
EJ	EXPANSION JOINT	STC	SOURCE TRANSMISSION COEFFICIENT
ELEC	ELECTRICAL	STD	STANDARD
ELEV	ELEVATION	STL	STEEL
EQ	EQUAL	STOR	STORAGE
ETR	EXISTING TO REMAIN	STRUCT	STRUCTURAL
EQUIP	EQUIPMENT	SUSP	SUSPENDED
EX, EXIST	EXISTING	SYN	SYNTHETIC
EXP JT	EXPANSION JOINT	T	TON, TREAD, TOP
EXT	EXTERIOR	T&G	TONGUE AND GROOVE
FD	FLOOR DRAIN, FIRE DAMPER	TEMP	TEMPERATURE, TEMPERED
FDN	FOUNDATION	TERR	TERRAZZO
FE	FIRE EXTINGUISHER	TG	TEMPERED GLASS
FEC	FIRE EXTINGUISHER CABINET	THRU	THROUGH
FF	FINISH FLOOR	TO	TOP OF
FL, FLR	FLOOR	TOB	TOP OF BEAM
FOM	FACE OF MASONRY	TOC	TOP OF CONCRETE
FOS	FACE OF STUD	TOS	TOP OF STEEL
FP	FIREPROOF	TRTD	TREATED
FRP	FIBERGLASS REINFORCED PLASTIC	TV	TELEVISION
FT	FOOT, FEET	TYP	TYPICAL
FUR	FURRED, FURRING	UL	UNDERWRITERS LABORATORIES
GA	GAUGE	UNF	UNFINISHED
GALV	GALVANIZED	UNO, UON	UNLESS NOTED OTHERWISE, UNLESS OTHERWISE NOTED
GC	GENERAL CONTRACTOR	V	VOLT
GEN	GENERAL	VCC	VIRGINIA CONSTRUCTION CODE
GL	GLASS, GLAZING	VCT	VINYL COMPOSITION TILE
GOVT	GOVERNMENT	VEBC	VIRGINIA EXISTING BUILDING CODE
GWB	GYP SUM WALLBOARD	VECC	VIRGINIA ENERGY CONSERVATION CODE
GYP	GYP SUM	VEN	VENER
H, HT	HIGH, HEIGHT	VERT	VERTICAL
HC	HANDICAPPED, HOLLOW CORE	VRC	VIRGINIA RESIDENTIAL CODE
HORIZ	HORIZONTAL	VUSBC	VIRGINIA UNIFIED STATEWIDE BUILDING CODE
HM	HOLLOW METAL	W	WIDTH, WIDE, WEST
IBC	INTERNATIONAL BUILDING CODE	WAIN	WAINSCOT
IN	INCH	WB	WOOD BASE
INSUL	INSULATION, INSULATED	WC	WATER CLOSET
INHM	INSULATED HOLLOW METAL	WD	WOOD
JAN	JANITOR	WH	WATER HEATER
JC	JANITOR CLOSET	WT	WEIGHT
JT	JOINT	WWF	WELDED WIRE FABRIC
L	LONG, LENGTH	WWM	WELDED WIRE MESH
LED	LIGHT EMITTING DIODE	W	WITH
LF	LINEAR FOOT	W/O	WITHOUT
LH	LEFT HAND	& +	AND
MAINT	MAINTENANCE	AT	DEGREE
MAX	MAXIMUM	Ø	DIAMETER
MECH	MECHANICAL	>	GREATER THAN
MED	MEDIUM	>=	GREATER THAN OR EQUAL TO
MTL	METAL	<	LESS THAN
MFG	MANUFACTURER	<=	LESS THAN OR EQUAL TO
MIN	MINIMUM, MINUTE	±, +/-	PLUS OR MINUS
MIR	MIRROR		
MISC	MISCELLANEOUS		
MO	MASONRY OPENING		

(CONTINUED NEXT COLUMN)

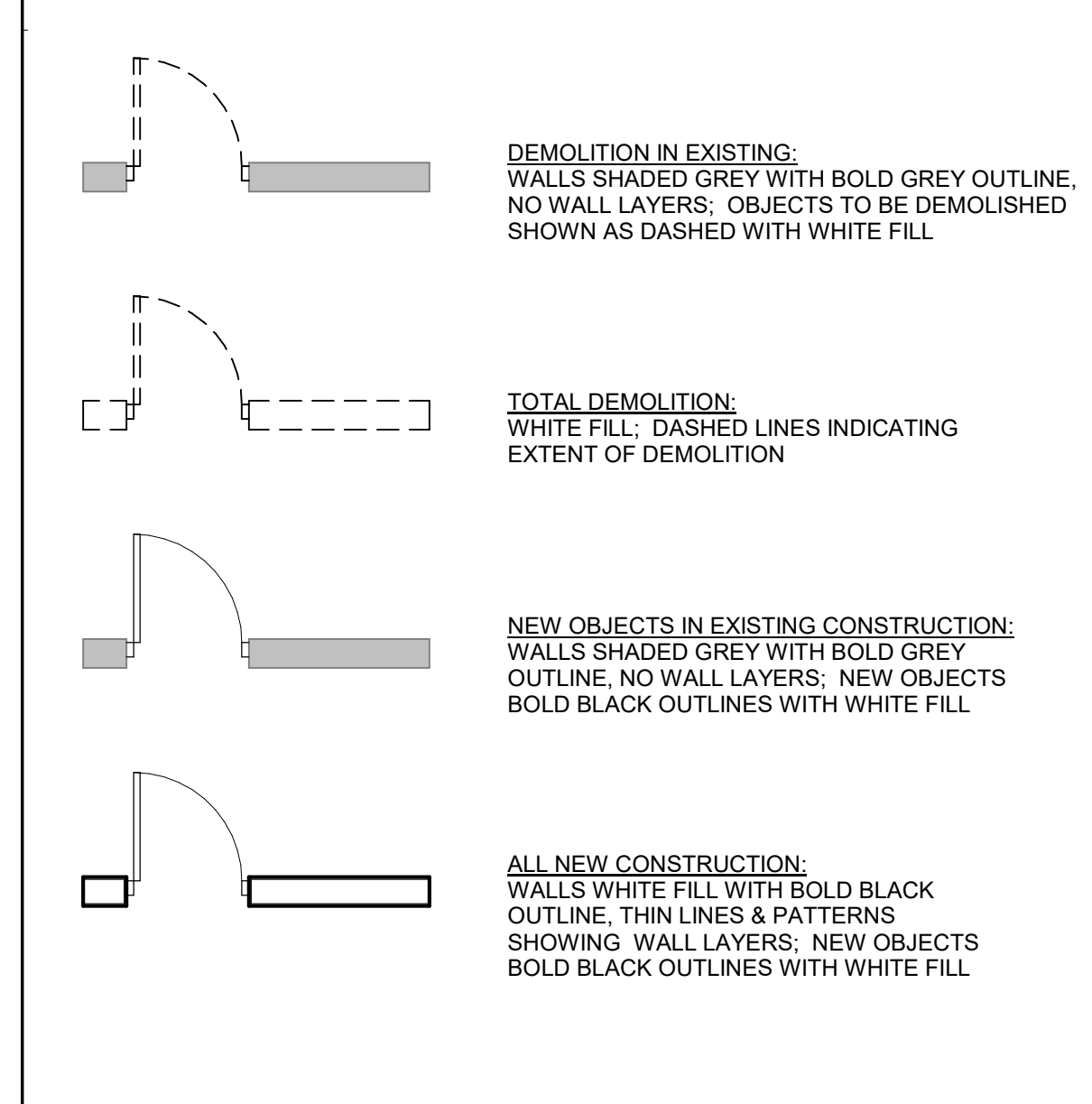
SIGN DETAILS



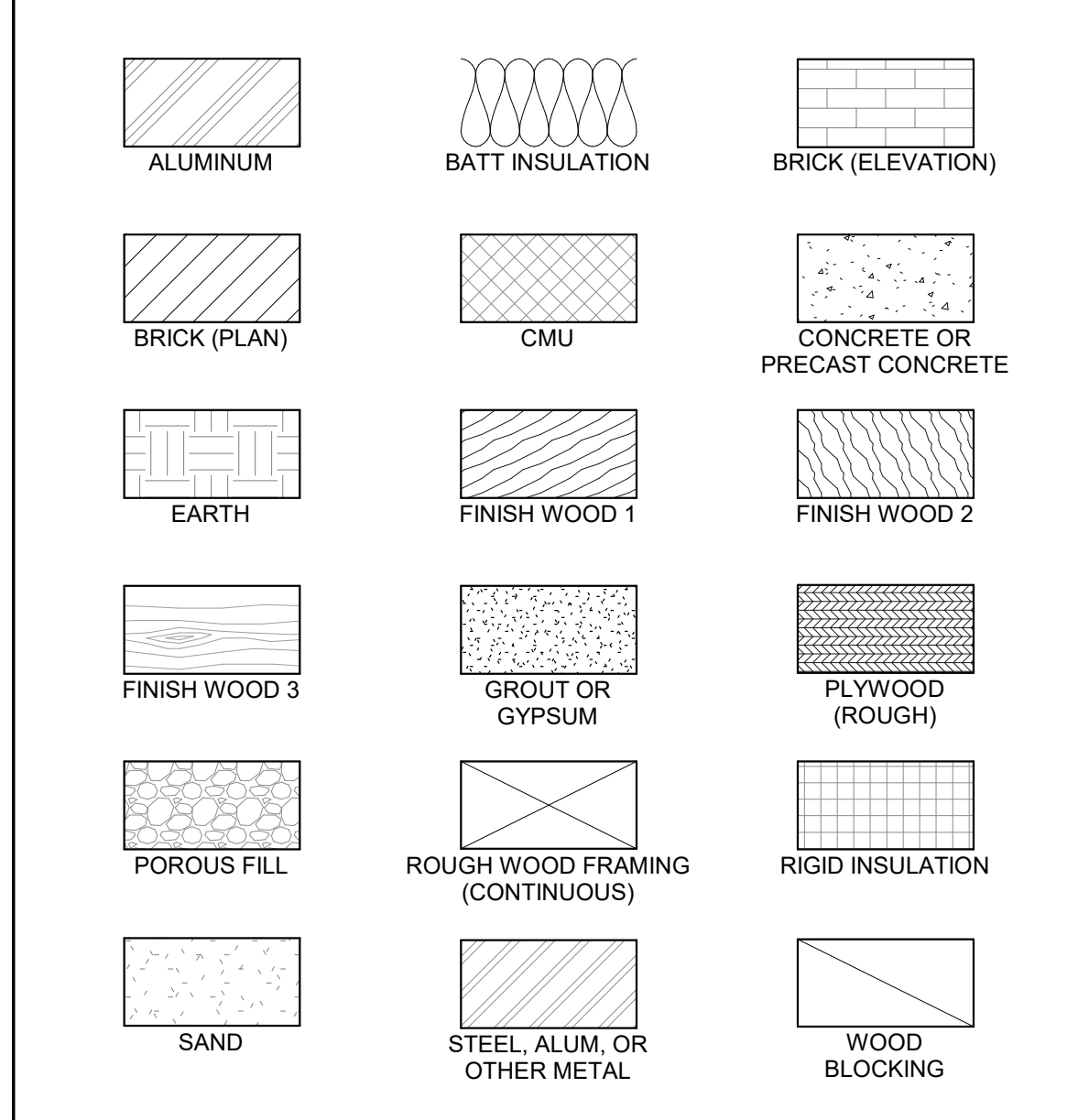
ANNOTATION STANDARDS



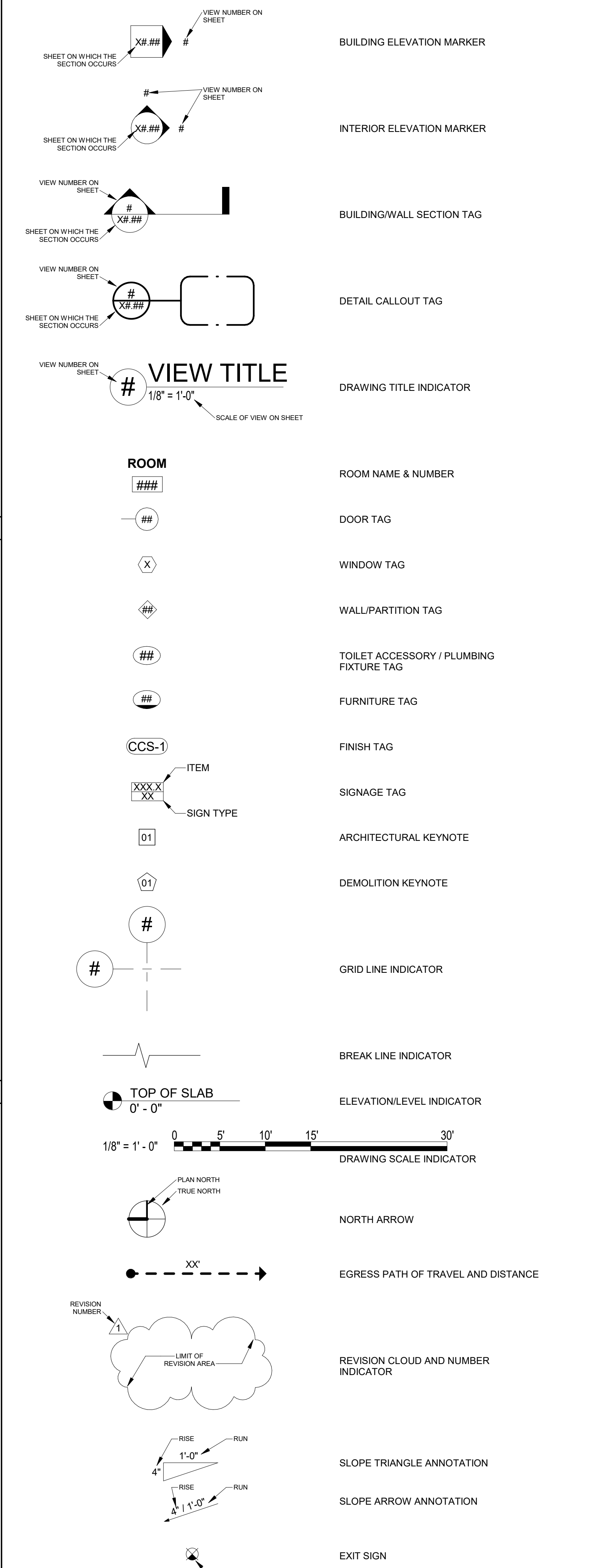
NEW/EXISTING LEGEND



PATTERN LEGEND



SYMBOLS LEGEND



GuernseyTingle
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WJCC BERKELEY MIDDLE SCHOOL FINISHES
WJCC SCHOOLS
1118 Ironbound Rd., Williamsburg, VA 23188

REVISION SCHEDULE

NO.	DESCRIPTION	DATE	INITIALS

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LEGENDS AND ABBREVIATIONS

STEPHANIE L. KALANTARIANS
Lic. No. 013629
3/1/2024
ARCHITECT

Date: 3/1/2024
Drawn: TOG Checked: SLK
Project: 223133

A-001

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SECTION 011000 - SUMMARY OF WORK

1. WORK UNDER THIS CONTRACT

A. THE WORK REQUIRED CONSISTS OF FURNISHING ALL PLANT, EQUIPMENT, SUPERINTENDENCE, LABOR, SKILL AND MATERIALS NECESSARY FOR THE CONSTRUCTION OF THE FOLLOWING WORK:

RENOVATION OF BERKELEY MIDDLE SCHOOL. WORK SHALL GENERALLY INCLUDE: DEMOLITION OF SOME EXISTING CASEWORK, PAINTING OF SOME WALLS AND CEILINGS, REMOVAL AND REPLACEMENT OF CARPETING, LAMINATE-CLAD CASEWORK.

B. THE CONTRACTOR SHALL PERFORM WORK NECESSARY FOR ALL CONSTRUCTION INCLUDING FURNISHING OF ALL ENGINEERING NECESSARY FOR THE DETERMINATION OF ALL QUANTITIES FOR THE LAYOUT OF THE WORK, IN ACCORDANCE WITH THE APPLICABLE DRAWINGS AND SPECIFICATIONS, AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

C. THE CONTRACTOR SHALL OBTAIN AND PAY FOR A BUILDING PERMIT AND SHALL COORDINATE REQUIRED INSPECTIONS.

3. APPLICABLE CODES

A. ALL REFERENCES TO CODES, SPECIFICATIONS, AND STANDARDS IN THE SPECIFICATION SECTIONS AND ON THE DRAWINGS SHALL MEAN, AND ARE INTENDED TO BE, THE MOST CURRENT EDITION, AMENDMENT AND/OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THESE CONTRACT DOCUMENTS.

B. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 EDITION OF THE VIRGINIA EXISTING BUILDING CODE (VEBC).

SECTION 013000 - ALTERNATES

1. DEFINITION: AN ALTERNATE IS AN AMOUNT PROPOSED BIDDERS AND STATED ON THE BID FORM THAT WILL BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF THE OWNER DECIDES TO ACCEPT A CORRESPONDING CHANGE IN EITHER THE SCOPE OF WORK OR IN PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.

2. WORK INCLUDED: MISCELLANEOUS DEVICES, APPURTENANCES AND SIMILAR ITEMS INCIDENTAL TO OR REQUIRED FOR COMPLETE PROVISION OF THE ALTERNATE, WHETHER OR NOT MENTIONED AS PART OF THE ALTERNATE.

3. COORDINATION: COORDINATE RELATED WORK AND MODIFY OR ADJUST ADJACENT WORK AS REQUIRED TO ENSURE THAT WORK AFFECTED BY EACH ACCEPTED ALTERNATE IS COMPLETE AND FULLY INTEGRATED INTO THE PROJECT.

SECTION 013300 - SUBMITTAL PROCEDURES

1. PROVIDE SUBMITTALS TO THE OWNER FOR REVIEW AND APPROVAL. SUBMITTALS SHALL INCLUDE:

- A. ANY REQUIREMENTS INDICATED IN THE BID DOCUMENTS TO INCLUDE SCHEDULE OF VALUES, PROJECT SCHEDULE, INSURANCE CERTIFICATIONS, ETC.
B. PRODUCT INFORMATION ADEQUATE TO CONFIRM CONFORMANCE WITH PROJECT REQUIREMENTS
C. FINISH SAMPLES, COLORS, ETC. TO VERIFY PROPOSED FINISHES
D. WARRANTY MATERIALS
E. CLOSEOUT DOCUMENTS

2. SUBMIT PRODUCTS AS SOON AS POSSIBLE, SO THAT PROJECT PROGRESS IS NOT HINDERED BY INABILITY TO OBTAIN PRODUCTS IN A TIMELY MANNER. PAY PARTICULAR ATTENTION TO PRODUCTS WITH LONG LEAD TIMES.

SECTION 017000 - PROJECT CLOSEOUT

1. GENERAL DEFINITIONS: THE PROVISIONS OF THIS SECTION APPLY PRIMARILY TO CLOSEOUT OF ACTUAL PHYSICAL WORK, NOT TO ADMINISTRATIVE MATTERS SUCH AS FINAL PAYMENT AND CHANGEOVER OF INSURANCES. CLOSEOUT REQUIREMENTS RELATE TO BOTH FINAL COMPLETION AND SUBSTANTIAL COMPLETION OF THE WORK AND APPLY TO INDIVIDUAL PORTIONS OF COMPLETED WORK AS WELL AS THE TOTAL WORK. SPECIFIC REQUIREMENTS IN OTHER SECTIONS HAVE PRECEDENCE OVER GENERAL REQUIREMENTS.

2. PROCEDURES AT SUBSTANTIAL COMPLETION:

A. PREREQUISITES: COMPLY WITH GENERAL CONDITIONS AND COMPLETE THE FOLLOWING BEFORE REQUESTING OWNER AND/OR ARCHITECT'S/ENGINEER'S INSPECTION OF THE WORK, OR DESIGNATED PORTION THEREOF, FOR SUBSTANTIAL COMPLETION:

- 1. SUBMIT CERTIFICATE OF OCCUPANCY, ENABLING OWNER'S UNRESTRICTED OCCUPANCY AND USE.
2. SUBMIT MAINTENANCE INSTRUCTIONS, TOOLS, SPARE PARTS, KEYS AND SIMILAR OPERATIONAL ITEMS.
3. COMPLETE INSTRUCTION TO OWNER OF OPERATING PROCEDURES AND START-UP OF SYSTEMS.

B. INSPECTION PROCEDURES: UPON RECEIPT OF CONTRACTOR'S REQUEST, OWNER AND/OR ARCHITECT/ENGINEER WILL EITHER PROCEED WITH INSPECTION OR ADVISE CONTRACTOR OF PREREQUISITES NOT FULFILLED. FOLLOWING INITIAL INSPECTION, OWNER OR ARCHITECT/ENGINEER WILL EITHER PREPARE CERTIFICATE OF SUBSTANTIAL COMPLETION OR ADVISE CONTRACTOR OF WORK WHICH MUST BE PERFORMED PRIOR TO ISSUANCE OF CERTIFICATE; AND REPEAT INSPECTION WHEN REQUESTED AND ASSURED THAT WORK HAS BEEN SUBSTANTIALLY COMPLETE. RESULTS OF COMPLETED INSPECTION WILL FORM INITIAL "PUNCH LIST" FOR FINAL ACCEPTANCE. ANY REPEAT INSPECTIONS BY THE ARCHITECT/ENGINEER WILL BE PAID FOR BY THE CONTRACTOR.

3. RECORD DOCUMENTS: MAINTAIN A SEPARATE PROJECT SET OF DRAWINGS ON EACH JOB SITE THAT IS ONLY TO RECORD CHANGES IN THE WORK AND CONDITIONS THAT DIFFER FROM WHAT IS INDICATED ON THE DRAWINGS. KEEP AN ONGOING RECORD OF THESE THINGS ON THIS DRAWING SET AND SUBMIT THIS TO THE OWNER PRIOR TO FINAL COMPLETION. FINAL ACCEPTANCE AND FINAL PAYMENT WILL NOT BE AUTHORIZED UNTIL RECORD DOCUMENTS ARE TURNED IN AND ACCEPTED BY THE OWNER AS A COMPLETE RECORD OF THE WORK. FAILURE TO MAINTAIN THE MARKED-UP DRAWING SETS MAY HINDER PROGRESS PAYMENTS.

4. PROCEDURES AT FINAL ACCEPTANCE - REINSPECTION PROCEDURE: UPON RECEIPT OF CONTRACTOR'S NOTICE THAT WORK HAS BEEN COMPLETED, INCLUDING PUNCH LIST ITEMS RESULTING FROM EARLIER INSPECTION(S) EXCEPT INCOMPLETE ITEMS DELAYED BECAUSE OF ACCEPTABLE CIRCUMSTANCES, ARCHITECT WILL REINSPECT WORK. UPON COMPLETION OF REINSPECTION, OWNER'S REPRESENTATIVE AND/OR ARCHITECT/ENGINEER WILL EITHER RECOMMEND FINAL ACCEPTANCE AND FINAL PAYMENT OR ADVISE CONTRACTOR OF WORK NOT COMPLETED OR OBLIGATIONS NOT FULFILLED AS REQUIRED FOR FINAL ACCEPTANCE. IF NECESSARY, PROCEDURE WILL BE REPEATED. ANY REPEAT INSPECTIONS BY THE ARCHITECT/ENGINEER WILL BE PAID FOR BY THE CONTRACTOR.

SECTION 061000 - ROUGH CARPENTRY

1. ALL LUMBER USED IN THE WORK SHALL BE FIRE-TREATED LUMBER, BEARING CERTIFICATIONS VALIDATING COMPLIANCE.

2. PROVIDE FRAMING FOR MEDIA CENTER CIRC DESK AND COUNTERTOPS, AS INDICATED.

SECTION 062000 - FINISH CARPENTRY

1. CIRCULATION DESK: FABRICATE CIRCULATION DESK AS INDICATED. USE PLASTIC LAMINATE FOR THE FINISHED WORK SURFACE OF THE CIRCULATION DESK AS INDICATED. FORM A CONTINUOUS SURFACE, USING INDUSTRY-STANDARD PRACTICES FOR ADHERING PLASTIC LAMINATE TO A PLYWOOD SUBSTRATE TO PROVIDE SEAMLESS-APPEARING JOINTS, AND TO ADHERE/FASTEN MATERIALS TO SUBSTRATES FOR A PERMANENT INSTALLATION. PROVIDE A MOCKUP FOR EACH TYPE OF INSTALLATION FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION OF THE REST OF THE WORK. THE MOCKUP, IF ACCEPTED, MAY BECOME PART OF THE FINISHED WORK.

SECTION 092500 - GYPSUM WALLBOARD

1. GYPSUM WALLBOARD FOR WALLS SHALL BE 5/8" IMPACT-RESISTANT GYPSUM WALLBOARD

2. A 1/4" JOINT SHALL BE LEFT WHERE GYPSUM WALLBOARD ABUTS THE FLOOR, SOFFITS, STRUCTURAL STEEL COLUMNS, AND CMU WALLS TO CREATE A JOINT WHICH SHALL THEN BE FILLED WITH BACKER ROD AND SEALANT.

SECTION 09 65 00 - RESILIENT FLOORING

PART 1 PRODUCTS

1.1 WALL BASE (Abbrev BV-1)

Conform to ASTM F1861, Type TS (vulcanized thermoset rubber), Group 1 (solid, homogenous), Style B (coved - standard toe). Provide 4 inch high and a minimum 1/8 inch thick wall base. Provide job formed corners in matching height, shape and color. Homogenous rubber compound to be comprised of a premium blend and SBR rubber materials.

Material length: 120 foot roll form
Surface burning ASTM E84: Class B
Flammability/ Critical Radiant Flux ASTM E648: Class B
Smoke Density ASTM E662: Passes (<450)

Base product must contain a minimum of 10% natural rubber

1.2 MOULDING

Provide tapered mouldings of vinyl or rubber and types as recommended by flooring manufacturer for both edges and transitions of flooring materials specified. Provide vertical lip on moulding of maximum 1/4 inch. Provide bevel change in level between 1/4 and 1/2 inch with a slope no greater than 1:2.

1.3 ADHESIVES

Provide adhesives for base as recommended by the manufacturer and comply with local indoor air quality standards. Submit manufacturer's descriptive data, documentation stating physical characteristics, and mildew and germicidal characteristics. Provide non-aerosol adhesive products used on the interior of the building (defined as inside of the weatherproofing system).

1.4 MANUFACTURER'S COLOR, PATTERN AND TEXTURE

Provide color, pattern and texture for resilient accessories as indicated on the drawings and in the "Finish Schedule". Color listed is not intended to limit the selection of equal colors from other manufacturer's.

PART 3 EXECUTION

3.1 PLACING MOULDING

Provide moulding where flooring termination is higher than the adjacent finished flooring and at transitions between different flooring materials. When required, locate moulding under door centerline. Moulding is not required at doorways where thresholds are provided. Secure moulding with adhesive as recommended by the manufacturer. Prepare and apply adhesives in accordance with manufacturer's printed directions. Anchor aluminum moulding to floor surfaces as recommended by the manufacturer.

3.2 PLACING WALL BASE

Install wall base in accordance with manufacturer's printed installation instructions. Prepare and apply adhesives in accordance with manufacturer's printed directions. Tighten base joints and make even with adjacent flooring. Fill voids along the top edge of base as masonry walls with caulk. Roll entire vertical surface of base with hand roller and press toe of base with a straight piece of wood to ensure proper alignment. Avoid excess adhesive in corners.

SECTION 09 68 00 - CARPETING

PART 1 GENERAL

1.1 WARRANTY

Provide manufacturer's standard performance guarantees or warranties including a lifetime commercial warranty covering fiber abrasive wear, static protection, staining and colorfastness to light and atmospheric contaminants.

PART 2 PRODUCTS

2.1 CARPET

Furnish first quality carpet that is free of visual blemishes, streaks, poorly dyed areas, fuzzing of pile yarn, spots or stains and other physical and manufacturing defects. Provide carpet materials and treatments as reasonably nonallergic and free of other recognized health hazards. Provide static control construction on all grade carpets which gives adequate durability and performance. Submit manufacturer's catalog date and printed documentation stating physical characteristics for each type of carpet material and installation accessory. Submit manufacturer's Product Data for 1) Carpet, 2) Moldings, and 3) Carpet Cushion. Also, submit samples of the following:

- a. Carpet: Two "Production Quality" samples 18 by 18 inches minimum of each carpet proposed for use, showing quality, pattern and color specified
b. Moldings: Two samples of each type, minimum 12 inches long
c. Carpet Cushion: Two samples minimum 6 by 6 inches

2.2.1 RECYCLED CONTENT

Carpeting must contain a minimum of 58% pre-consumer recycled content. Provide data identifying percentage of recycled content for carpeting.

Provide certification of indoor air quality for carpet.

2.2.2 Physical Characteristics for Modular Carpet Tile

2.2.2.1 Carpet Construction

Tufted

2.2.2.2 Type (Abbrev. CPT-1, CPT-2)

The following applies to all abbreviation types unless noted otherwise. Modular tile with 0.15 percent growth/shrink rate in accordance with ISO 2551. All abbreviation types must come from the same subsidiary manufacturer. Abbreviation type CPT-1 must be majority warm grey tones with a minimum of two accent colors; one being red and no more than ten percent of the overall carpet coloring. It must also be geometric / rectangular in style. Abbreviation type CPT-2 must be of the same style and must be a solid red color or "read" as a solid color from a 3'-0" distance. The red should match the red in CPT-1. Refer to the Finish Schedule.

2.2.2.3 Pile Type

Multi-Level Pattern Loop

2.2.2.4 Pile Fiber

Commercial 100 percent branded (federally registered trademark) nylon continuous filament. Nylon must be Type 6.6 or Type 6.0 with a cross-section modification ratio no greater than 2.1.

2.2.2.5 Gauge or Pitch

Minimum 1/10 inch in accordance with ASTM D5793

2.2.2.6 Stitches or Rows/Wires

Minimum 8.5 per square inch for Types CPT-1 and CPT-2.

2.2.2.7 Surface Pile Weight

Minimum 16 ounces per square yard for Types CPT-1 and CPT-2. This does not include weight of backings. Determine weight in accordance with ASTM D5848.

2.2.2.8 Pile Thickness

Minimum 0.09 inch for Types CPT-1 and CPT-2 in accordance with ASTM D6859.

2.2.2.9 Pile Density

Minimum 6100

2.2.2.10 Dye Method

100% Solution dyed for all types.

2.2.2.11 Backing Materials

Provide primary backing materials like those customarily used and accepted by the trade for each type of carpet. Provide secondary backing to suit project requirements of those customarily used and accepted by the trade for each type of carpet.

2.3 PERFORMANCE REQUIREMENTS

2.3.1 Texture Appearance Retention Rating (TARR)

Provide carpet with a greater than or equal to 3.5 (Severe) for CPT-1 and CPT-2 in accordance with ASTM D7330 or CRI Test Method 103.

2.3.2 Static Control

Provide static control to permanently regulate static buildup to less than 3.5 kV when tested at 20 percent relative humidity and 70 degrees F in accordance with AATCC 134.

2.3.3 Compression Force Deflection at 65 Percent

Appropriate standards for offices, cubical areas and corridors in accordance with ASTM D3574.

2.3.4 Thickness

0.20 inches minimum, plus 5 percent maximum

2.3.5 Density

18.5 lbs/cu. ft. per ASTM D3574

2.4 ADHESIVES AND CONCRETE PRIMER

Comply with applicable regulations regarding toxic and hazardous materials. Provide water resistant, mildew resistant, nonflammable, and nonstaining adhesives and concrete primers for carpet installation as required by the carpet manufacturer. Provide adhesives flashpoint of minimum 140 degrees F in accordance with ASTM D3278.

Provide certification of indoor air quality for aerosol adhesives and sealants. Provide certification of indoor air quality for non-aerosol adhesives. Provide certification of indoor air quality for concrete primer.

2.5 MOLDINGS

Provide carpet moldings where floor covering material changes or carpet edge does not abut a vertical surface. Provide heavy-duty vinyl or rubber molding designed for the type of carpet being installed at all transitions unless noted otherwise.

2.6 COLOR, TEXTURE, AND PATTERN

Provide color, texture and pattern in accordance with the drawings and Interior Finish Schedule.

SECTION 099000 - PAINTING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

A. Section includes surface preparation and the application of paint systems on the following interior substrates:

- 1. Concrete
2. Concrete masonry units (CMU).
3. Steel.
4. Galvanized metal.
5. Wood.
6. Gypsum board.

B. Related Requirements:

- 1. Section 099300 "Staining and Transparent Finishing" for surface preparation and the application of wood stains and transparent finishes on interior wood substrates.
2. Section 099600 "High Performance Coatings" for high-performance and special-use coatings.

1.3 DEFINITIONS

A. Gloss Level 1: Not more than 5 units at 60 degrees and 10 units at 85 degrees, according to ASTM D 523.

B. Gloss Level 2: Not more than 10 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.

C. Gloss Level 3: 10 to 25 units at 60 degrees and 10 to 35 units at 85 degrees, according to ASTM D 523.

D. Gloss Level 4: 20 to 35 units at 60 degrees and not less than 35 units at 85 degrees, according to ASTM D 523.

E. Gloss Level 5: 35 to 70 units at 60 degrees, according to ASTM D 523.

F. Gloss Level 6: 70 to 85 units at 60 degrees, according to ASTM D 523.

G. Gloss Level 7: More than 85 units at 60 degrees, according to ASTM D 523.

WJCC BERKELEY MIDDLE SCHOOL FINISHES

GuernseyTingle 757-220-0220 Williamsburg, VA guernseytingle.com

WJCC SCHOOLS 1118 Ironbound Rd., Williamsburg, VA 23188

REVISION SCHEDULE table with columns for #, DESCRIPTION, DATE, INITIALS

ARCHITECTURAL SPECIFICATIONS



Date: 3/1/2024
Drawn: TOG Checked: SLK
Project: 223133

A-030

1.4 ACTION SUBMITTALS

- A. Product Data: For each type of product. Include preparation requirements and application instructions.
B. Samples for Verification: For each type of paint system and in each color and gloss of topcoat.
1. Submit Samples on rigid backing, 8 inches square.
2. Step coats on Samples to show each coat required for system.
3. Label each coat of each Sample.
4. Label each Sample for location and application area.
C. Product List: For each product indicated, include the following:
1. Cross-reference to paint system and locations of application areas.
2. Printout of current "MPI Approved Products List" for each product category specified in Part 2, with the proposed product highlighted.
3. VOC content.
D. Coatings Inspection Report: Provide coatings inspection report as completed by authorized representative of selected coatings manufacturer.

1.5 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials, from the same product run, that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
1. Paint: 5 percent, but not less than 1 gallon of each material and color applied.
B. Coating Maintenance Manual: Upon conclusion of the project, the Contractor or paint manufacturer/supplier shall furnish a coating maintenance manual, such as Sherwin-Williams "Custodian Project Color and Product Information" report or equal.

1.6 DELIVERY, STORAGE, AND HANDLING

- 1. Store materials not in use in tightly covered containers in well-ventilated areas with ambient temperatures continuously maintained at not less than 45 deg F.
2. Maintain containers in clean condition, free of foreign materials and residue.
3. Remove rags and waste from storage areas daily.

1.7 FIELD CONDITIONS

- A. Apply paints only when temperature of surfaces to be painted and ambient air temperatures are between 50 and 95 deg F.
B. Do not apply paints when relative humidity exceeds 85 percent; at temperatures less than 5 deg F above the dew point; or to damp or wet surfaces.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Basis-of-Design:
1. Sherwin-Williams Company (The). - Matt Smith, Architectural Account Executive; (804)774-1967, matthew.a.smith@sherwin.com.
B. Manufacturers: Subject to compliance with requirements, provide products by one of the following:

2.2 PAINT, GENERAL

- A. MPI Standards: Provide products that comply with MPI standards indicated and that are listed in its "MPI Approved Products List."
B. Material Compatibility:
1. Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
2. For each coat in a paint system, provide products recommended in writing by manufacturers of topcoat for use in paint system and on substrate indicated.
C. Colors: As indicated in a color schedule.
1. 20 percent of surface area will be painted with deep tones.

2.3 SOURCE QUALITY CONTROL

- A. Testing of Paint Materials: Owner reserves the right to invoke the following procedure:
1. Owner will engage the services of a qualified testing agency to sample paint materials. Contractor will be notified in advance and may be present when samples are taken.
2. Testing agency will perform tests for compliance with product requirements.
3. Owner may direct Contractor to stop applying coatings if test results show materials being used do not comply with product requirements.

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PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates and conditions, with Applicator present, for compliance with requirements for maximum moisture content and other conditions affecting performance of the Work.
B. Maximum Moisture Content of Substrates: When measured with an electronic moisture meter as follows:
1. Concrete: 12 percent.
2. Masonry (Clay and CMU): 12 percent.
3. Wood: 15 percent.
4. Gypsum Board: 12 percent.
C. Gypsum Board Substrates: Verify that finishing compound is sanded smooth.
D. Verify suitability of substrates, including surface conditions and compatibility with existing finishes and primers.
E. Mock-Up: Provide a mock-up for evaluation of surface preparation techniques and application workmanship.
1. Finish surfaces for verification of products, colors and sheens.
2. Finish area designated by Architect.
3. Provide samples that designate primer and finish coats.
4. Do not proceed with remaining work until the Architect approves the mock-up.

3.2 PREPARATION

- A. Comply with manufacturer's written instructions and recommendations in "MPI Manual" applicable to substrates indicated.
B. Remove hardware, covers, plates, and similar items already in place that are removable and are not to be painted.
1. After completing painting operations, use workers skilled in the trades involved to reinstall items that were removed.
C. Clean substrates of substances that could impair bond of paints, including dust, dirt, oil, grease, and incompatible paints and encapsulants.
D. Concrete Substrates: Remove release agents, curing compounds, efflorescence, and chalk.
E. Masonry Substrates: Remove efflorescence and chalk.
F. Steel Substrates: Remove rust, loose mill scale, and shop primer, if any.
G. Shop-Primed Steel Substrates: Clean field welds, bolted connections, and abraded areas of shop paint, and paint exposed areas with the same material as used for shop priming.
H. Galvanized-Metal Substrates: Remove grease and oil residue from galvanized sheet metal fabricated from coil stock by mechanical methods to produce clean, lightly etched surfaces that promote adhesion of subsequently applied paints.
I. Previously Painted Substrates: Apply a test area on all previously painted substrates, allowing paint to dry one week before testing adhesion.

3.3 APPLICATION

- A. Apply paints according to manufacturer's written instructions and to recommendations in "MPI Manual."
1. Use applicators and techniques suited for paint and substrate indicated.
2. Paint surfaces behind movable equipment and furniture same as similar exposed surfaces.
3. Paint front and backsides of access panels, removable or hinged covers, and similar hinged items to match exposed surfaces.
4. Do not paint over labels of independent testing agencies or equipment name, identification, performance rating, or nomenclature plates.
5. Primers specified in painting schedules may be omitted on items that are factory primed or factory finished if acceptable to topcoat manufacturers.
B. If undercoats or other conditions show through topcoat, apply additional coats until cured film has a uniform paint finish, color, and appearance.
C. Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections.
D. Painting Fire Suppression, Plumbing, HVAC, Electrical, Communication, and Electronic Safety and Security Work:
1. Paint the following work where exposed in equipment rooms:
a. Equipment, including panelboards and switch gear.
b. Uninsulated metal piping.

PAINTING 099000 - 5

- c. Uninsulated plastic piping.
d. Pipe hangers and supports.
e. Metal conduit.
f. Plastic conduit.
g. Tanks that do not have factory-applied final finishes.
h. Duct, equipment, and pipe insulation having cotton or canvas insulation covering or other paintable jacket material.
2. Paint portions of internal surfaces of metal ducts, without liner, behind air inlets and outlets that are visible from occupied spaces.

3.4 FIELD QUALITY CONTROL

- A. Dry Film Thickness Testing: Owner may engage the services of a qualified testing and inspecting agency to inspect and test paint for dry film thickness.
1. Contractor shall touch up and restore painted surfaces damaged by testing.
2. If test results show that dry film thickness of applied paint does not comply with manufacturer's written recommendations, Contractor shall pay for testing and apply additional coats as needed to provide dry film thickness that complies with manufacturer's written recommendations.

3.5 CLEANING AND PROTECTION

- A. At end of each workday, remove rubbish, empty cans, rags, and other discarded materials from Project site.
B. After completing paint application, clean spattered surfaces.
C. Protect work of other trades against damage from paint application.
D. At completion of construction activities of other trades, touch up and restore damaged or defaced painted surfaces.

3.6 INTERIOR PAINTING SCHEDULE

- A. CMU/Masonry Substrates:
1. Single-Component Epoxy System: Recoating of moderate traffic spaces.
a. Spot Prime - LOXON Masonry Primer, LX2W0050 (bare or peeling masonry only).
b. Primer: Extreme Bond Primer, B51W1150
c. Intermediate Coat: Light industrial water based epoxy, matching topcoat.
d. Eggshell Topcoat: Pro Industrial Pre-Catalyzed Water Based Epoxy Eg-Shel, K45-2150.
e. Semi-Gloss Topcoat: Pro Industrial Pre-Catalyzed Water Based Semi-Gloss, K46-2150.
2. Abrasion/Chemical Resistant Epoxy System: Previously painted high traffic wall surfaces - corridors, stairwells, columns, restrooms, gymnasium, locker rooms.
a. Spot Prime - LOXON Masonry Primer, LX2W0050 (bare or peeling masonry only).
b. Primer: Extreme Bond Primer Interior/Exterior Bonding Primer, B51-1150
c. Intermediate Coat: Epoxy-Modified Latex, Interior, matching topcoat.
d. Eggshell Topcoat: Pro Industrial Water Based Catalyzed Epoxy Eg-Shel, B73-360 Series.
e. Gloss Topcoat: Pro Industrial Water Based Catalyzed Epoxy Gloss, B73-300 Series.
B. Metal Substrates:
1. Water Based Alkyd System: Previously painted doors, frames, storefronts, window frames.
a. Primer: Extreme Bond Primer Interior/Exterior Bonding Primer, B51-1150.
b. Intermediate Coat: Water Based Alkyd, Interior, matching topcoat.
c. Gloss Topcoat: Pro Industrial Water Based Alkyd Urethane Semi-Gloss, B53-2150.
C. Gypsum Board Substrates:
1. Latex System:
a. Prime Coat: ProMar 200 Zero VOC Primer, B28W2600; MPI #149.
b. Intermediate Coat: Latex, interior, institutional low odor/VOC, matching topcoat.
c. Flat Topcoat: ProMar 200 Zero VOC Latex Flat, B30-12650.
d. Eggshell Topcoat: ProMar 200 HP Zero VOC Latex Eg-Shel, B20-1950.
e. Semi-Gloss Topcoat: ProMar 200 HP Zero VOC Latex Semi-Gloss, B31-1950.
D. Tile/Glazed Block Substrates:
1. Abrasion/Chemical Resistant Epoxy System:
a. Primer: Extreme Bond Primer Interior/Exterior Bonding Primer, B51-1150
b. Intermediate Coat: Epoxy-Modified Latex, Interior, matching topcoat.
c. Eggshell Topcoat: Pro Industrial Water Based Catalyzed Epoxy Eg-Shel, B73-360 Series.
d. Gloss Topcoat: Pro Industrial Water Based Catalyzed Epoxy Gloss, B73-300 Series.
3.7 EXTERIOR PAINTING SCHEDULE
A. Concrete/Masonry Substrates:
1. Acrylic System: Awnings.
a. Primer: LOXON Masonry Primer, LX2W0050.
b. Intermediate Coat: Pro Industrial Multi-Surface Acrylic Eg-Shel, B66-1560.
c. Topcoat: Pro Industrial Multi-Surface Acrylic Eg-Shel, B66-1560.

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GuernseyTingle logo and contact information: 757-220-0020, guernseytingle.com

WJCC BERKELEY MIDDLE SCHOOL FINISHES, WJCC SCHOOLS, 1118 Ironbound Rd., Williamsburg, VA 23188

REVISION SCHEDULE table with columns for #, DESCRIPTION, DATE, INITIALS

ARCHITECTURAL SPECIFICATIONS stamp for Stephanie L. Kalantarians, Architect, dated 3/1/2024

Date: 3/1/2024, Drawn: TOG, Checked: SLK, Project: 223133

A-031

FLOOR PLAN NEW WORK

1 A-101 1" = 20'-0"



PICTURE FOR FINISH NOTE F18



PAINT WALL AREA SHOWN HERE

FRAMES TO BE REPAINTED

BRICK TO REMAIN AS IS

GENERAL FLOOR PLAN NOTES

- A. COLORED LINES INDICATE WALLS THAT NEED REPAINTING. SEE "COLORED LINE LEGEND".
- B. PAINT AROUND CONDUIT, TV'S, BULLETIN BOARDS AND ANY OTHER PERMANENTLY MOUNTED FIXTURES.
- C. OWNER TO REMOVE ALL PICTURE FRAMES, FURNISHINGS AND PERSONAL ITEMS TO PREP FOR PAINTING BY CONTRACTOR.
- D. ALL HOLLOW METAL DOORS AND FRAMES THROUGHOUT BUILDING TO BE REPAINTED ON BOTH SIDES. COLOR SHALL BE BLACK U.N.O. FOR EXTERIOR DOORS, ONLY REPAINT INTERIOR SURFACES OF DOORS AND FRAMES.
- E. ANY RELATED ELECTRICAL WORK TO BE DONE BY OTHERS.
- F. ANY FURNISHINGS ADJACENT TO WALLS ARE TO BE RELOCATED BY OWNER.
- G. OWNER TO REMOVE AND REINSTALL FURNISHINGS AS REQUIRED FOR REPAIR AND CARPET REPLACEMENT.
- H. SOUND Baffles ARE NOT TO BE PAINTED THROUGHOUT.
- I. PAINTING NOTE: PREP, PRIME AND PAINT UP TO 6'-0" A.F.F WITH TWO-PART EPOXY THROUGHOUT, UNO. PAINT FROM 6'-0" TO 10'-0" A.F.F WITH ONE-PART EPOXY, UNO.
- J. DO NOT SAND ANY ASBESTOS CONTAINING MATERIALS.

COLORED LINE LEGEND

--- WALL TO BE REPAINTED

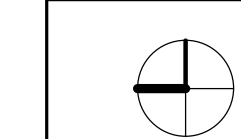
FLOOR PLAN KEYNOTES

- F1 NO PAINT IN THIS ROOM.
- F2 SAND, PRIME AND PAINT WALLS PER ENLARGED PLANS.
- F3 REMOVE AND REPLACE CARPET AND VINYL BASE ON ALL SURFACES THAT ARE CURRENTLY CARPETED IN THIS ROOM.
- F4 PORTION OF WALL UNDER COUNTER TOPS NOT TO BE PAINTED
- F5 GREEN SCREEN WALL TO REMAIN. DO NOT PAINT.
- F6 REPAINT GYPBOARD CEILING.
- F7 EXISTING MURAL. DON'T PAINT OVER. SEE CORRESPONDING PICS FOR FURTHER INSTRUCTION.
- F8 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM. CARPET SHOULD BUTT UP AGAINST SHELVES.
- F9 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM.
- F10 PAINT CMU BLOCK DIRECTLY BELOW THE LEFT SIDE OF THE CLERESTORY WINDOW. THIS IS THE ONLY AREA THAT NEEDS PAINT.
- F11 BRICK WALL NOT TO BE PAINTED.
- F12 PAINT EXISTING GREEN CMU TO MATCH NEW PAINT ON ADJACENT WALLS. GREEN CMU IS 6'-0" AFF.
- F13 NOT USED.
- F14 ACCENT WALL TO BE REPAINTED TO MATCH ADJACENT WALLS.
- F15 ALL HOLLOW METAL FRAMES TO REMAIN RED IN BAND ROOM.
- F16 NOT USED.
- F17 PREP, PRIME AND PAINT ENTIRE CANOPY STRUCTURE, EXCEPT THE TOP PORTION. SEE PIC ON THIS SHEET.
- F18 PAINT PORTION OF WALL BETWEEN WINDOW LEDGE AND METAL FRAMING. SEE PICTURE ON THIS SHEET.
- F19 MURAL EXTENDS 12'-0" FROM EDGE OF WALL. DO NOT PAINT OVER. REPAINT REMAINING WALL BEYOND MURAL.
- F20 MURAL AT 6'-0" AFF. DO NOT PAINT OVER. REPAINT BELOW MURAL AND REMAINDER OR WALL.
- F21 REMOVE AND REPLACE CARPET AND BASE ON STAIRS.
- F22 DEMOLISH AND REMOVE EXISTING CASEWORK. TOUCH UP PAINT WHERE DESK IS REMOVED.
- F23 PAINT PREP, PRIME AND PAINT UP TO 6'-0" AFF WITH TWO PART EPOXY. PAINT FROM 6'-0" TO UNDERSIDE OF DECK WITH ONE PART EPOXY.
- F24 MURAL TO BE PAINTED OVER.
- F25 SEE PIC ON A-103 TO SEE WHERE TO START AND STOP NEW PAINT.
- F26 SEE PIC ON A-104 TO SEE WHERE TO START AND STOP NEW PAINT.
- F27 MURAL TO BE PREPPED, PRIMED AND PAINTED OVER.
- F28 SEE PIC ON A-105 TO SEE WHERE TO START AND STOP NEW PAINT.
- F29 PREP, PRIME AND PAINT OVER MURAL ACCORDING TO PICS ON SHEET A-104. PORTIONS OF MURAL ARE TO REMAIN.
- F30 CENTER CARPET TILES ON DOOR.
- F31 PAINT WALLS FROM FLOOR TO DECK.
- F32 PAINT AROUND DOOR IN THE SAME MANNER AS THE "AUDITORIUM" PIC ON SHEET A-104.
- F33 REMOVE EXISTING MEDIA CENTER CASEWORK AS A PART OF BID ALTERNATE #1. IF BID ALTERNATE #1 IS NOT SELECTED, EXISTING CASEWORK TO REMAIN.

HATCHING LEGEND

- SHADED AREAS ARE NOT IN SCOPE FOR WALL PAINTING ONLY. HOLLOW METAL FRAMES SHOULD STILL BE REPAINTED.
- AREAS WHERE CARPET IS TO BE REMOVED AND REPLACED.

TRUE NORTH



GRAPHIC SCALE(S)



REVISION	SCHEDULE	DATE	INITIALS

FLOOR PLAN - 1ST FLOOR



Date: 3/1/2024
 Drawn: TOG Checked: SLK
 Project: 223133



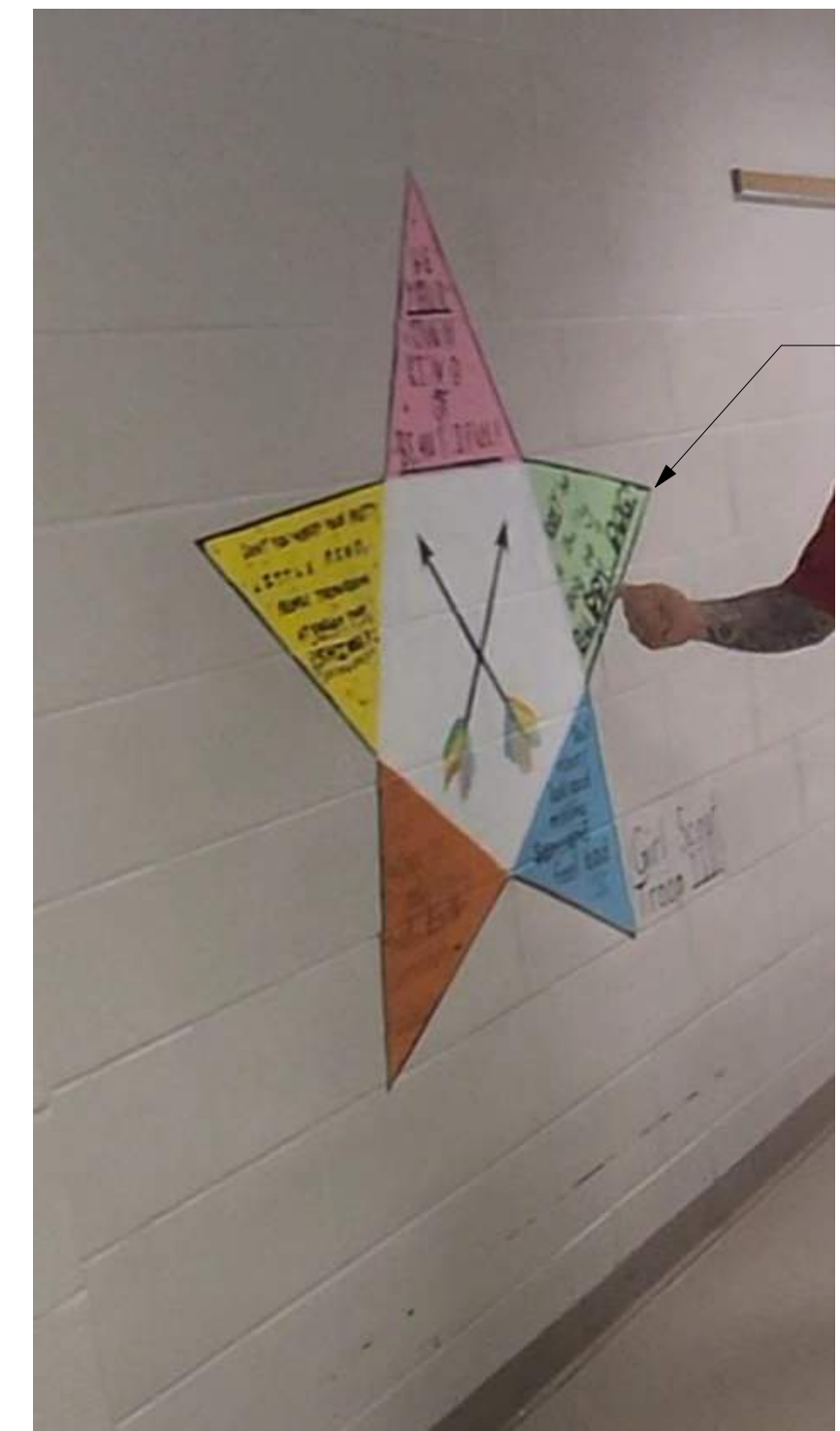
1 ENLARGED PLAN - AREA "A" ALTERATIONS
 A-102 3/32" = 1'-0"

GENERAL FLOOR PLAN NOTES

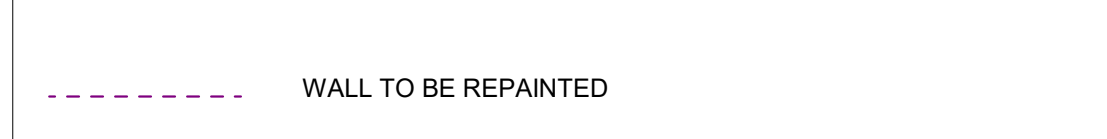
- A. COLORED LINES INDICATE WALLS THAT NEED REPAINTING. SEE "COLORED LINE LEGEND".
- B. PAINT AROUND CONDUIT, TV'S, BULLETIN BOARDS AND ANY OTHER PERMANENTLY MOUNTED FIXTURES.
- C. OWNER TO REMOVE ALL PICTURE FRAMES, FURNISHINGS AND PERSONAL ITEMS TO PREP FOR PAINTING BY CONTRACTOR.
- D. ALL HOLLOW METAL DOORS AND FRAMES THROUGHOUT BUILDING TO BE REPAINTED ON BOTH SIDES. COLOR SHALL BE BLACK U.N.O. FOR EXTERIOR DOORS. ONLY REPAINT INTERIOR SURFACES OF DOORS AND FRAMES.
- E. ANY RELATED ELECTRICAL WORK TO BE DONE BY OTHERS.
- F. ANY FURNISHINGS ADJACENT TO WALLS ARE TO BE RELOCATED BY OWNER.
- G. OWNER TO REMOVE AND REINSTALL FURNISHINGS AS REQUIRED FOR REPAINT AND CARPET REPLACEMENT.
- H. SOUND Baffles ARE NOT TO BE PAINTED THROUGHOUT.
- I. PAINTING NOTE- PREP, PRIME AND PAINT UP TO 6'-0" A.F.F WITH TWO-PART EPOXY THROUGHOUT, UNO. PAINT FROM 6'-0" TO 10'-0" A.F.F WITH ONE-PART EPOXY, UNO.
- J. DO NOT SAND ANY ASBESTOS CONTAINING MATERIALS.

FLOOR PLAN KEYNOTES

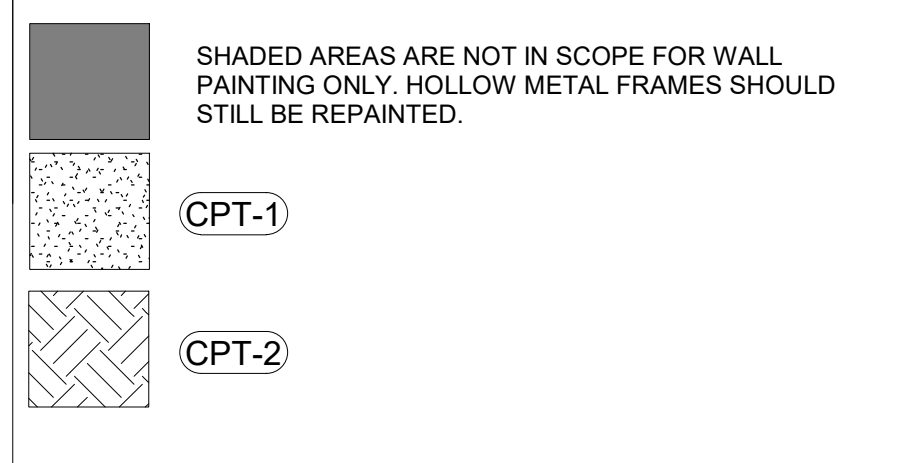
- F1 NO PAINT IN THIS ROOM.
- F2 SAND, PRIME AND PAINT WALLS PER ENLARGED PLANS.
- F3 REMOVE AND REPLACE CARPET AND VINYL BASE ON ALL SURFACES THAT ARE CURRENTLY CARPETED IN THIS ROOM.
- F4 PORTION OF WALL UNDER COUNTER TOPS NOT TO BE PAINTED.
- F5 GREEN SCREEN WALL TO REMAIN. DO NOT PAINT.
- F6 REPAINT GYPBOARD CEILING.
- F7 EXISTING MURAL. DON'T PAINT OVER. SEE CORRESPONDING PICS FOR FURTHER INSTRUCTION.
- F8 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM. CARPET SHOULD BUTT UP AGAINST SHELVES.
- F9 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM.
- F10 PAINT CMU BLOCK DIRECTLY BELOW THE LEFT SIDE OF THE CLEARESTORY WINDOW. THIS IS THE ONLY AREA THAT NEEDS PAINT.
- F11 BRICK WALL NOT TO BE PAINTED.
- F12 PAINT EXISTING GREEN CMU TO MATCH NEW PAINT ON ADJACENT WALLS. GREEN CMU IS 6'-0" AFF.
- F13 NOT USED.
- F14 ACCENT WALL TO BE REPAINTED TO MATCH ADJACENT WALLS.
- F15 ALL HOLLOW METAL FRAMES TO REMAIN RED IN BAND ROOM.
- F16 NOT USED.
- F17 PREP, PRIME AND PAINT ENTIRE CANOPY STRUCTURE, EXCEPT THE TOP PORTION. SEE PIC ON THIS SHEET.
- F18 PAINT PORTION OF WALL BETWEEN WINDOW LEDGE AND METAL FRAMING. SEE PICTURE ON THIS SHEET.
- F19 MURAL EXTENDS 12'-0" FROM EDGE OF WALL. DO NOT PAINT OVER. REPAINT REMAINING WALL BEYOND MURAL.
- F20 MURAL AT 6'-0" AFF. DO NOT PAINT OVER. REPAINT BELOW MURAL AND REMAINING WALL.
- F21 REMOVE AND REPLACE CARPET AND BASE ON STAIRS.
- F22 DEMOLISH AND REMOVE EXISTING CASEWORK. TOUCH UP PAINT WHERE DESK IS REMOVED.
- F23 PAINT PREP, PRIME AND PAINT UP TO 6'-0" AFF WITH TWO PART EPOXY. PAINT FROM 6'-0" TO UNDERSIDE OF DECK WITH ONE PART EPOXY.
- F24 MURAL TO BE PAINTED OVER.
- F25 SEE PIC ON A-103 TO SEE WHERE TO START AND STOP NEW PAINT.
- F26 SEE PIC ON A-104 TO SEE WHERE TO START AND STOP NEW PAINT.
- F27 MURAL TO BE PREPPED, PRIMED AND PAINTED OVER.
- F28 SEE PIC ON A-105 TO SEE WHERE TO START AND STOP NEW PAINT.
- F29 PREP, PRIME AND PAINT OVER MURAL ACCORDING TO PICS ON SHEET A-104. PORTIONS OF MURAL ARE TO REMAIN.
- F30 CENTER CARPET TILES ON DOOR.
- F31 PAINT WALLS FROM FLOOR TO DECK.
- F32 PAINT AROUND DOOR IN THE SAME MANNER AS THE "AUDITORIUM" PIC ON SHEET A-104.
- F33 REMOVE EXISTING MEDIA CENTER CASEWORK AS A PART OF BID ALTERNATE #1. IF BID ALTERNATE #1 IS NOT SELECTED, EXISTING CASEWORK TO REMAIN.



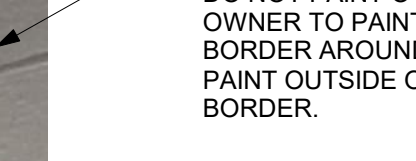
COLORED LINE LEGEND - AREA A



FINISH LEGEND - AREA A



TRUE NORTH



GRAPHIC SCALE(S)



GuernseyTingle
 757-220-0220 Williamsburg, VA
 guernseytingle.com

WJCC BERKELEY MIDDLE SCHOOL FINISHES
 WJCC SCHOOLS
 1118 Ironbound Rd., Williamsburg, VA 23188

#	REVISION SCHEDULE	DESCRIPTION	INITIALS	
			DATE	

ENLARGED FLOOR PLAN - AREA A ALTERATIONS

COMMONWEALTH OF VIRGINIA
 ARCHITECT
 STEPHANIE L. KALANTARIANS
 Lic. No. 013629
 3/1/2024

Date: 3/1/2024
 Drawn: TOG Checked: SLK
 Project: 223133

A-102

Plotted on: 3/7/2024 2:13:33 PM

1 ENLARGED PLAN - AREA "B" ALTERATIONS
A-103 3/32" = 1'-0"



GENERAL FLOOR PLAN NOTES

- A. COLORED LINES INDICATE WALLS THAT NEED REPAINTING. SEE "COLORED LINE LEGEND".
- B. PAINT AROUND CONDUIT, TV'S, BULLETIN BOARDS AND ANY OTHER PERMANENTLY MOUNTED FIXTURES.
- C. OWNER TO REMOVE ALL PICTURE FRAMES, FURNISHINGS AND PERSONAL ITEMS TO PREP FOR PAINTING BY CONTRACTOR.
- D. ALL HOLLOW METAL DOORS AND FRAMES THROUGHOUT BUILDING TO BE REPAINTED ON BOTH SIDES. COLOR SHALL BE BLACK U.N.O. FOR EXTERIOR DOORS. ONLY REPAINT INTERIOR SURFACES OF DOORS AND FRAMES.
- E. ANY RELATED ELECTRICAL WORK TO BE DONE BY OTHERS.
- F. ANY FURNISHINGS ADJACENT TO WALLS ARE TO BE RELOCATED BY OWNER.
- G. OWNER TO REMOVE AND REINSTALL FURNISHINGS AS REQUIRED FOR REPAIR AND CARPET REPLACEMENT.
- H. SOUND Baffles ARE NOT TO BE PAINTED THROUGHOUT.
- I. PAINTING NOTE: PREP, PRIME AND PAINT UP TO 6'-0" A.F.F WITH TWO-PART EPOXY THROUGHOUT, UNO. PAINT FROM 6'-0" TO 10'-0" A.F.F WITH ONE-PART EPOXY, UNO.
- J. DO NOT SAND ANY ASBESTOS CONTAINING MATERIALS.

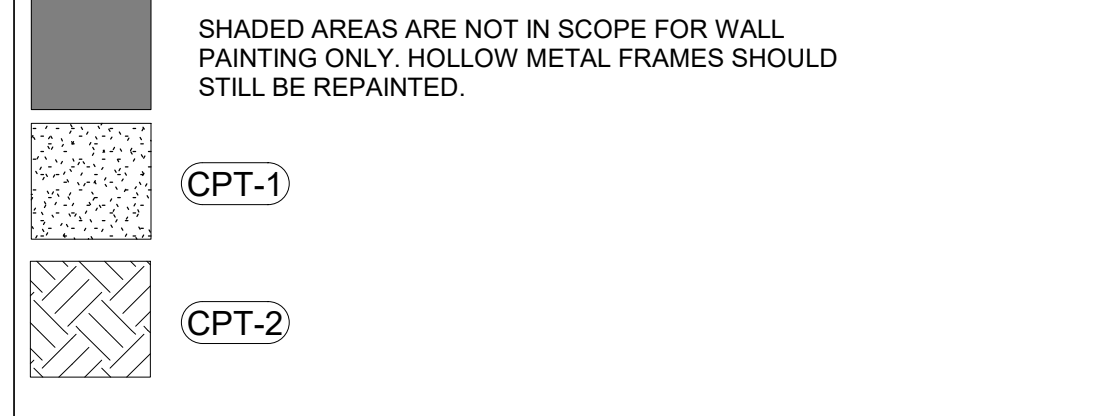
FLOOR PLAN KEYNOTES

- F1 NO PAINT IN THIS ROOM.
- F2 SAND, PRIME AND PAINT WALLS PER ENLARGED PLANS.
- F3 REMOVE AND REPLACE CARPET AND VINYL BASE ON ALL SURFACES THAT ARE CURRENTLY CARPETED IN THIS ROOM.
- F4 PORTION OF WALL UNDER COUNTER TOPS NOT TO BE PAINTED
- F5 GREEN SCREEN WALL TO REMAIN. DO NOT PAINT.
- F6 REPAINT GYPBOARD CEILING.
- F7 EXISTING MURAL. DON'T PAINT OVER. SEE CORRESPONDING PICS FOR FURTHER INSTRUCTION.
- F8 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM. CARPET SHOULD BUTT UP AGAINST SHELVES.
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- F22 DEMOLISH AND REMOVE EXISTING CASEWORK. TOUCH UP PAINT WHERE DESK IS REMOVED.
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- F29 PREP, PRIME AND PAINT OVER MURAL ACCORDING TO PICS ON SHEET A-104. PORTIONS OF MURAL ARE TO REMAIN.
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- F31 PAINT WALLS FROM FLOOR TO DECK.
- F32 PAINT AROUND DOOR IN THE SAME MANNER AS THE "AUDITORIUM" PIC ON SHEET A-104.
- F33 REMOVE EXISTING MEDIA CENTER CASEWORK AS A PART OF BID ALTERNATE #1. IF BID ALTERNATE #1 IS NOT SELECTED, EXISTING CASEWORK TO REMAIN.

COLORED LINE LEGEND - AREA B

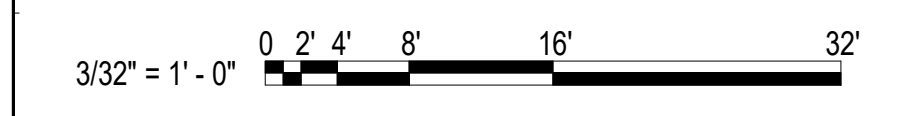


FINISH LEGEND - AREA B



TRUE NORTH

GRAPHIC SCALE(S)



GuernseyTingle
757-220-0220 Williamsburg, VA
guernseytingle.com

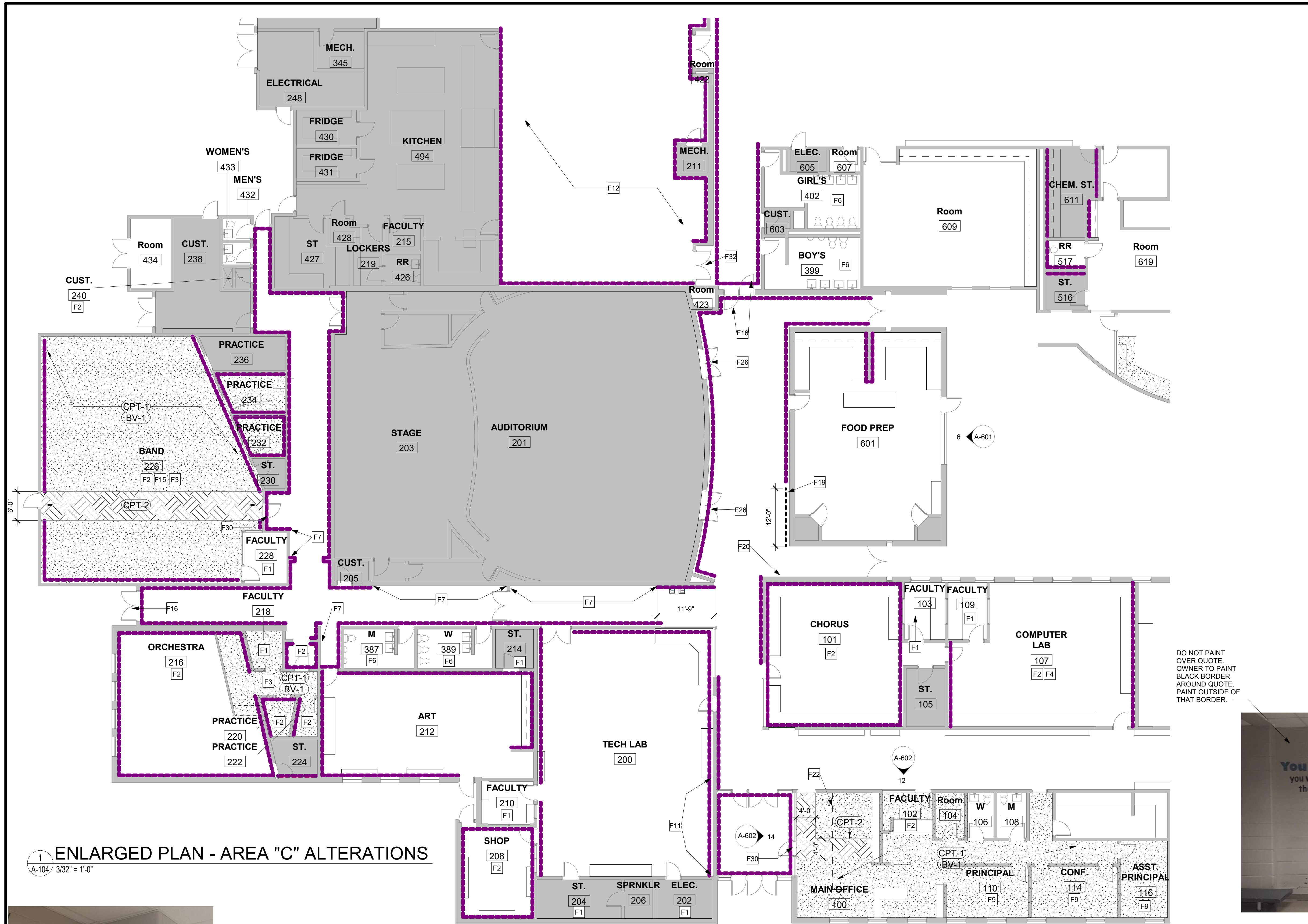
WJCC BERKELEY MIDDLE SCHOOL FINISHES
WJCC SCHOOLS
1118 Ironbound Rd, Williamsburg, VA 23188

REVISION SCHEDULE		DATE	INITIALS
DESCRIPTION			

ENLARGED FLOOR PLAN - AREA B ALTERATIONS

Date: 3/1/2024
Drawn: TOG Checked: SLK
Project: 223133

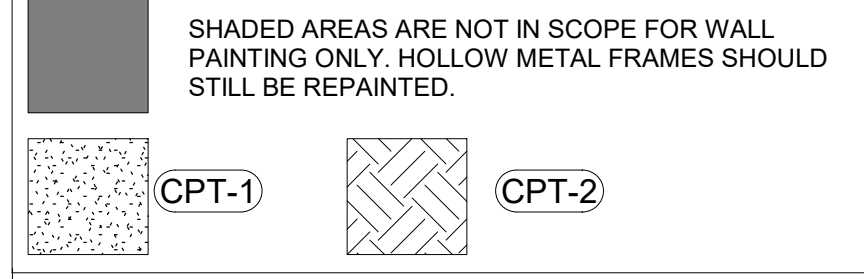
A-103



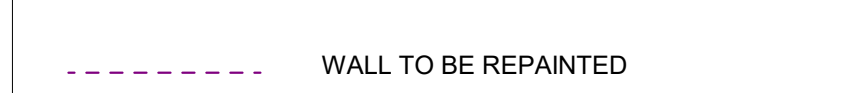
GENERAL FLOOR PLAN NOTES

- A. COLORED LINES INDICATE WALLS THAT NEED REPAINTING. SEE "COLORED LINE LEGEND".
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- C. OWNER TO REMOVE ALL PICTURE FRAMES, FURNISHINGS AND PERSONAL ITEMS TO PREP FOR PAINTING BY CONTRACTOR.
- D. ALL HOLLOW METAL DOORS AND FRAMES THROUGHOUT BUILDING TO BE REPAINTED ON BOTH SIDES. COLOR SHALL BE BLACK UNLESS OTHERWISE NOTED. FOR EXTERIOR DOORS, ONLY REPAINT INTERIOR SURFACES OF DOORS AND FRAMES.
- E. ANY RELATED ELECTRICAL WORK TO BE DONE BY OTHERS.
- F. ANY FURNISHINGS ADJACENT TO WALLS ARE TO BE RELOCATED BY OWNER.
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- H. SOUND Baffles ARE NOT TO BE PAINTED THROUGHOUT.
- I. PAINTING NOTE: PREP, PRIME AND PAINT UP TO 6'-0" AFF WITH TWO-PART EPOXY THROUGHOUT. UNO. PAINT FROM 6'-0" TO 10'-0" AFF WITH ONE-PART EPOXY, UNO.
- J. DO NOT SAND ANY ASBESTOS CONTAINING MATERIALS.

FINISH LEGEND - AREA C



COLORED LINE LEGEND - AREA C

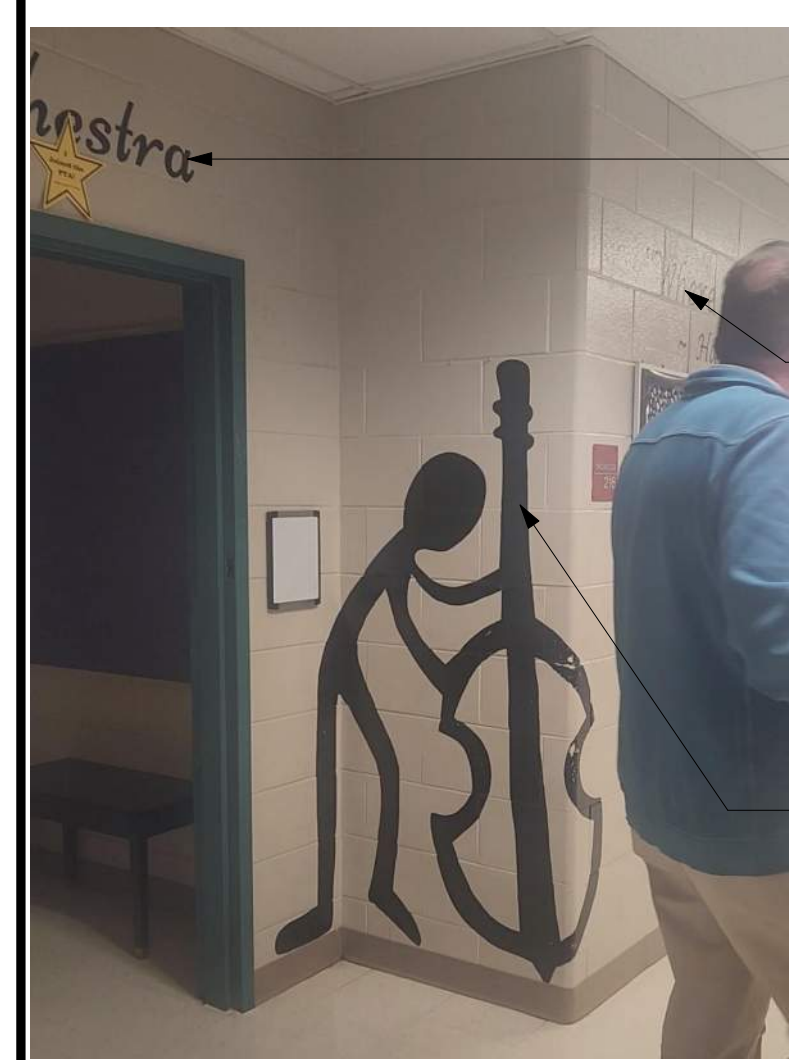


FLOOR PLAN KEYNOTES

- F1 NO PAINT IN THIS ROOM.
- F2 SAND, PRIME AND PAINT WALLS PER ENLARGED PLANS.
- F3 REMOVE AND REPLACE CARPET AND VINYL BASE ON ALL SURFACES THAT ARE CURRENTLY CARPETED IN THIS ROOM.
- F4 PORTION OF WALL UNDER COUNTER TOPS NOT TO BE PAINTED
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- F6 REPAINT GYPSOBOARD CEILING
- F7 EXISTING MURAL. DON'T PAINT OVER. SEE CORRESPONDING PICS FOR FURTHER INSTRUCTION.
- F8 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM. CARPET SHOULD BUTT UP AGAINST SHELVES.
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- F13 NOT USED.
- F14 ACCENT WALL TO BE REPAINTED TO MATCH ADJACENT WALLS.
- F15 ALL HOLLOW METAL FRAMES TO REMAIN RED IN BAND ROOM.
- F16 NOT USED.
- F17 PREP, PRIME AND PAINT ENTIRE CANOPY STRUCTURE, EXCEPT THE TOP PORTION. SEE PIC ON THIS SHEET.
- F18 PAINT PORTION OF WALL BETWEEN WINDOW LEDGE AND METAL FRAMING. SEE PICTURE ON THIS SHEET.
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- F20 MURAL AT 6'-0" AFF. DO NOT PAINT OVER. REPAINT BELOW MURAL AND REMAINDER OR WALL.
- F21 REMOVE AND REPLACE CARPET AND BASE ON STAIRS.
- F22 DEMOLISH AND REMOVE EXISTING CASEWORK. TOUCH UP PAINT WHERE DESK IS REMOVED.
- F23 PAINT PREP, PRIME AND PAINT UP TO 6'-0" AFF WITH TWO PART EPOXY. PAINT FROM 6'-0" TO UNDERSIDE OF DECK WITH ONE PART EPOXY. MURAL TO BE PAINTED OVER.
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ENLARGED PLAN - AREA "C" ALTERATIONS

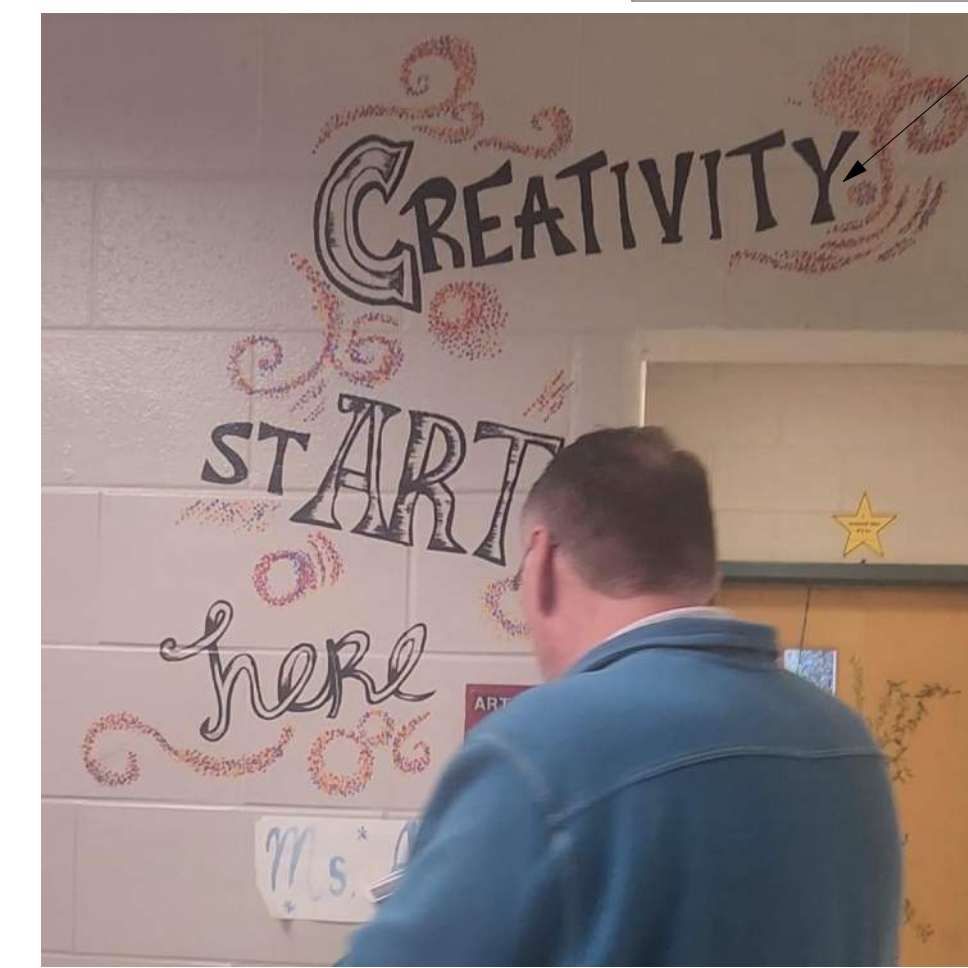
A-104 / 3/32" = 1'-0"



PAINT OVER "ORCHESTRA"

DO NOT PAINT OVER QUOTE. OWNER TO PAINT BLACK BORDER AROUND QUOTE. PAINT OUTSIDE OF THAT BORDER.

PAINT OVER STICK FIGURE



PAINT OVER MURAL



PAINT OVER "BAND"

DO NOT PAINT OVER QUOTE. OWNER TO PAINT BLACK BORDER AROUND QUOTE. PAINT OUTSIDE OF THAT BORDER.

PAINT OVER STICK FIGURE



DO NOT PAINT OVER QUOTE. OWNER TO PAINT BLACK BORDER AROUND QUOTE. PAINT OUTSIDE OF THAT BORDER.

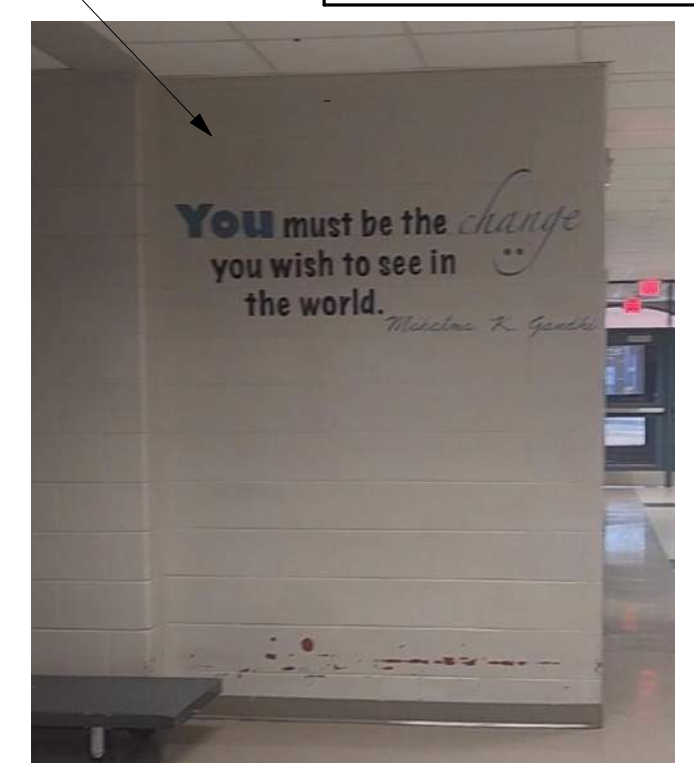


DASHED AREA: EXISTING PAINT TO REMAIN

DO NOT PAINT OVER QUOTE. OWNER TO PAINT BLACK BORDER AROUND QUOTE. PAINT OUTSIDE OF THAT BORDER.

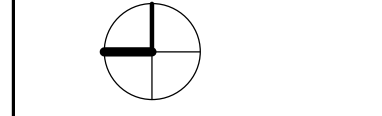
PAINT OVER STICK FIGURES

NEW PAINT TO START ON THIS WALL. REPEAT ON BOTH SIDES OF THIS DOOR AND ON THE ADJACENT AUDITORIUM DOOR.

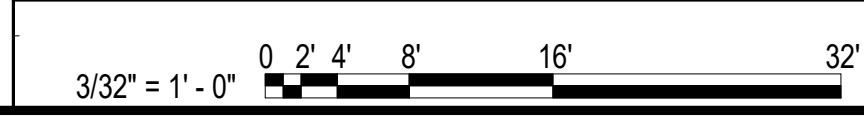


DO NOT PAINT OVER MURAL.

TRUE NORTH



GRAPHIC SCALE(S)



REVISION	DESCRIPTION	DATE	INITIALS

ENLARGED FLOOR PLAN - AREA C ALTERATIONS



Date: 3/1/2024
Drawn: TOG Checked: SLK
Project: 223133

REVISION	DESCRIPTION	DATE	INITIALS

ENLARGED FLOOR PLAN - AREA D ALTERATIONS



Date: 3/1/2024
Drawn: TOG Checked: SLK
Project: 223133

A-105

GENERAL FLOOR PLAN NOTES

- A. COLORED LINES INDICATE WALLS THAT NEED REPAINTING. SEE "COLORED LINE LEGEND".
- B. PAINT AROUND CONDUIT, TV'S, BULLETIN BOARDS AND ANY OTHER PERMANENTLY MOUNTED FIXTURES.
- C. OWNER TO REMOVE ALL PICTURE FRAMES, FURNISHINGS AND PERSONAL ITEMS TO PREP FOR PAINTING BY CONTRACTOR.
- D. ALL HOLLOW METAL DOORS AND FRAMES THROUGHOUT BUILDING TO BE REPAINTED ON BOTH SIDES. COLOR SHALL BE BLACK U.N.O. FOR EXTERIOR DOORS. ONLY REPAINT INTERIOR SURFACES OF DOORS AND FRAMES.
- E. ANY RELATED ELECTRICAL WORK TO BE DONE BY OTHERS.
- F. ANY FURNISHINGS ADJACENT TO WALLS ARE TO BE RELOCATED BY OWNER. G. OWNER TO REMOVE AND REINSTALL FURNISHINGS AS REQUIRED FOR REPAIR AND CARPET REPLACEMENT.
- H. SOUND Baffles ARE NOT TO BE PAINTED THROUGHOUT.
- I. PAINTING NOTE: PREP, PRIME AND PAINT UP TO 6'-0" A.F.F WITH TWO-PART EPOXY THROUGHOUT, UNO. PAINT FROM 6'-0" TO 10'-0" A.F.F WITH ONE-PART EPOXY, UNO.
- J. DO NOT SAND ANY ASBESTOS CONTAINING MATERIALS.

FLOOR PLAN KEYNOTES

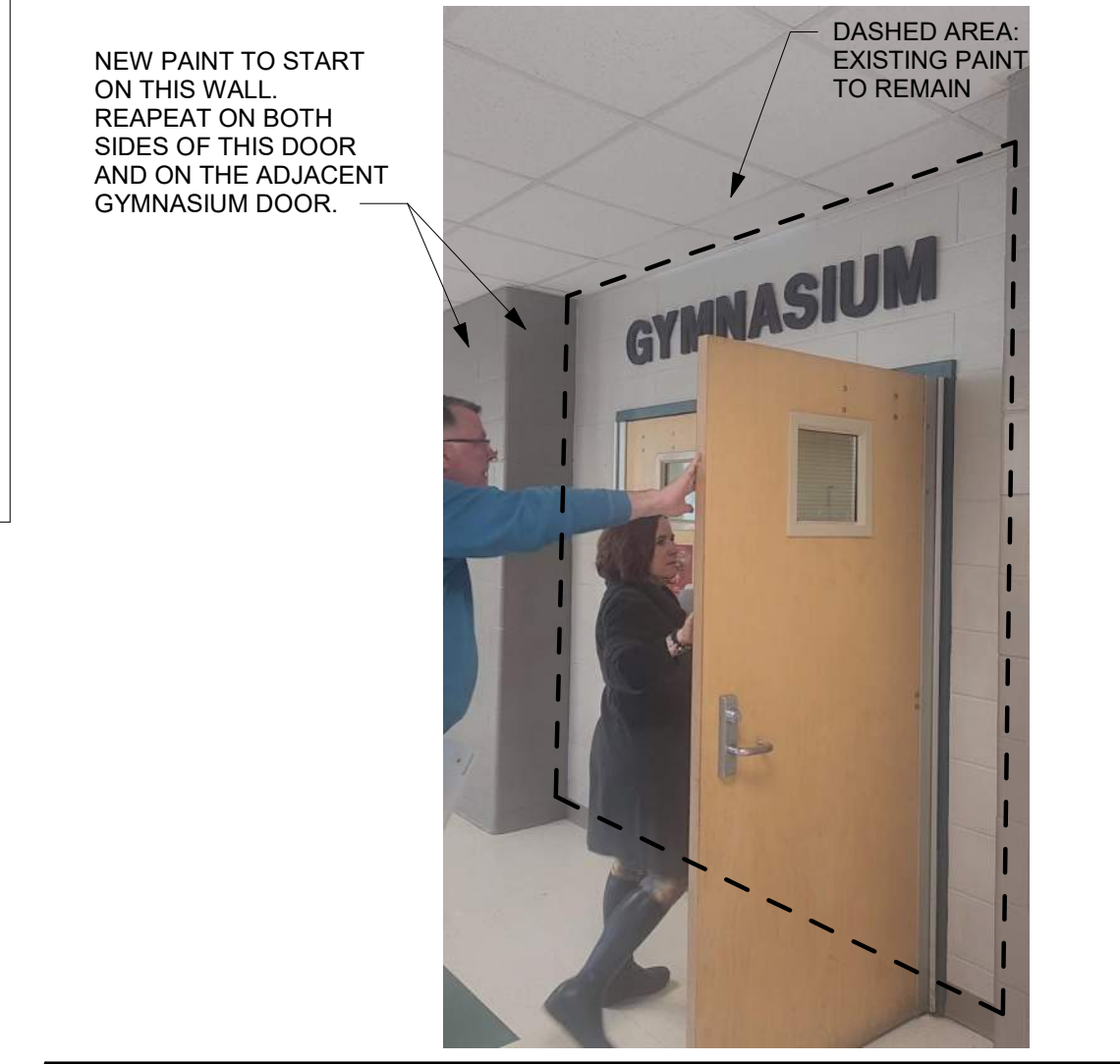
- F1 NO PAINT IN THIS ROOM.
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- F3 REMOVE AND REPLACE CARPET AND VINYL BASE ON ALL SURFACES THAT ARE CURRENTLY CARPETED IN THIS ROOM.
- F4 PORTION OF WALL UNDER COUNTER TOPS NOT TO BE PAINTED.
- F5 GREEN SCREEN WALL TO REMAIN. DO NOT PAINT.
- F6 REPAINT GYPSUM BOARD CEILING.
- F7 EXISTING MURAL. DON'T PAINT OVER. SEE CORRESPONDING PICS FOR FURTHER INSTRUCTION.
- F8 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM. CARPET SHOULD BUTT UP AGAINST SHELVES.
- F9 REMOVE AND REPLACE CARPET AND BASE IN THIS ROOM.
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COLORED LINE LEGEND - AREA D

--- WALL TO BE REPAINTED

FINISH LEGEND - AREA D

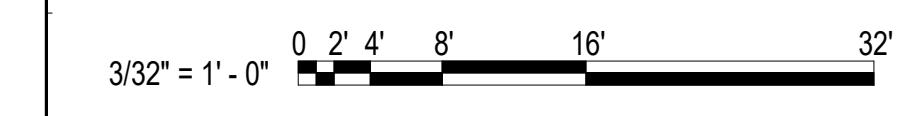
- SHADED AREAS ARE NOT IN SCOPE FOR WALL PAINTING ONLY. HOLLOW METAL FRAMES SHOULD STILL BE REPAINTED.
- CPT-1
- CPT-2



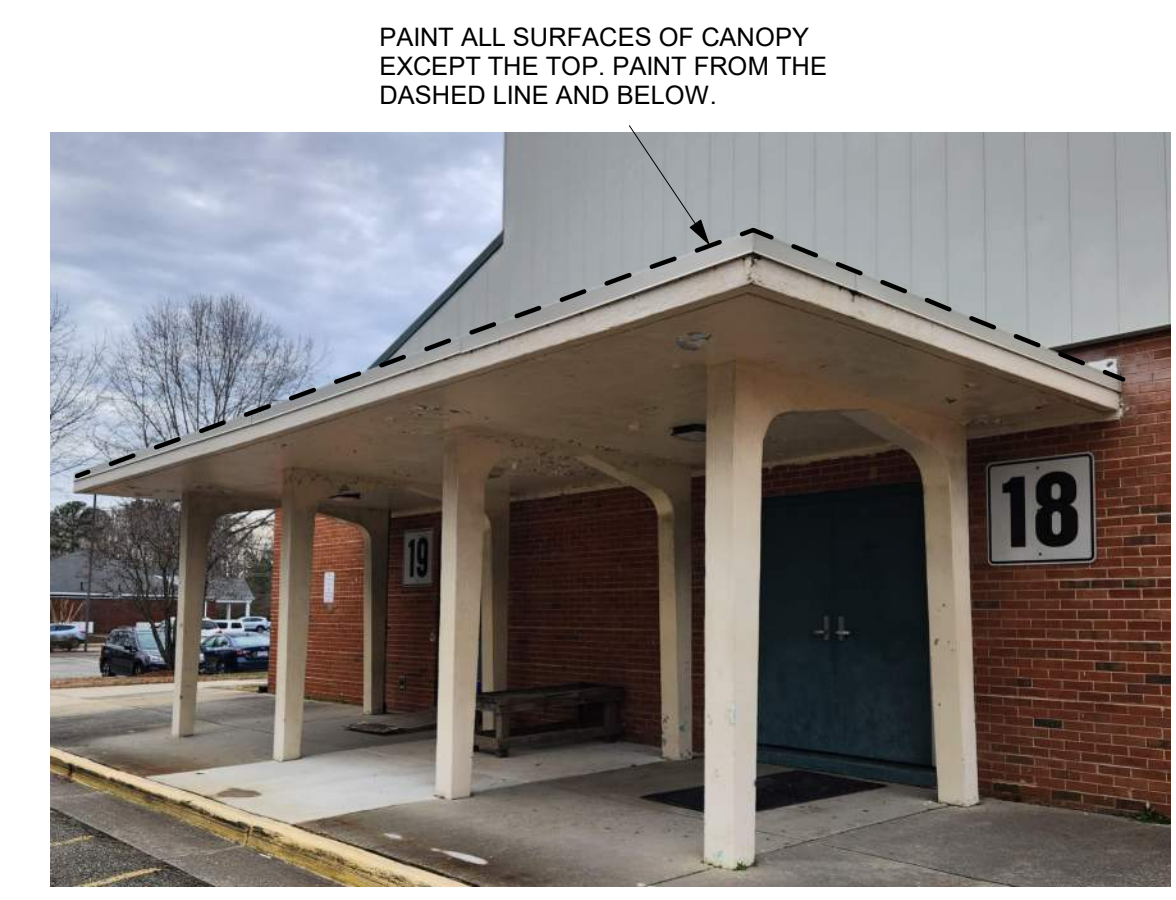
TRUE NORTH



GRAPHIC SCALE(S)



1 ENLARGED FLOOR PLAN - AREA D ALTERATIONS
A-105 3/32\"/>



PIC REFERENCING NOTE F17

REVISION	SCHEDULE	DATE	INITIALS

ENLARGED FLOOR PLAN - MEDIA CENTER ALTERATIONS

GENERAL FLOOR PLAN NOTES

- A. COLORED LINES INDICATE WALLS THAT NEED REPAINTING. SEE "COLORED LINE LEGEND".
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- J. DO NOT SAND ANY ASBESTOS CONTAINING MATERIALS.

FLOOR PLAN KEYNOTES

- F1 NO PAINT IN THIS ROOM.
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- F3 REMOVE AND REPLACE CARPET AND VINYL BASE ON ALL SURFACES THAT ARE CURRENTLY CARPETED IN THIS ROOM.
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- F21 REMOVE AND REPLACE CARPET AND BASE ON STAIRS.
- F22 DEMOLISH AND REMOVE EXISTING CASEWORK. TOUCH UP PAINT WHERE DESK IS REMOVED.
- F23 PAINT PREP, PRIME AND PAINT UP TO 6'-0" AFF WITH TWO PART EPOXY. PAINT FROM 6'-0" TO UNDERSIDE OF DECK WITH ONE PART EPOXY.
- F24 MURAL TO BE PAINTED OVER.
- F25 SEE PIC ON A-103 TO SEE WHERE TO START AND STOP NEW PAINT.
- F26 SEE PIC ON A-104 TO SEE WHERE TO START AND STOP NEW PAINT.
- F27 MURAL TO BE PREPPED, PRIMED AND PAINTED OVER.
- F28 SEE PIC ON A-105 TO SEE WHERE TO START AND STOP NEW PAINT.
- F29 PREP, PRIME AND PAINT OVER MURAL ACCORDING TO PICS ON SHEET A-104. PORTIONS OF MURAL ARE TO REMAIN.
- F30 CENTER CARPET TILES ON DOOR.
- F31 PAINT WALLS FROM FLOOR TO DECK.
- F32 PAINT AROUND DOOR IN THE SAME MANNER AS THE "AUDITORIUM" PIC ON SHEET A-104.
- F33 REMOVE EXISTING MEDIA CENTER CASEWORK AS A PART OF BID ALTERNATE #1. IF BID ALTERNATE #1 IS NOT SELECTED, EXISTING CASEWORK TO REMAIN.

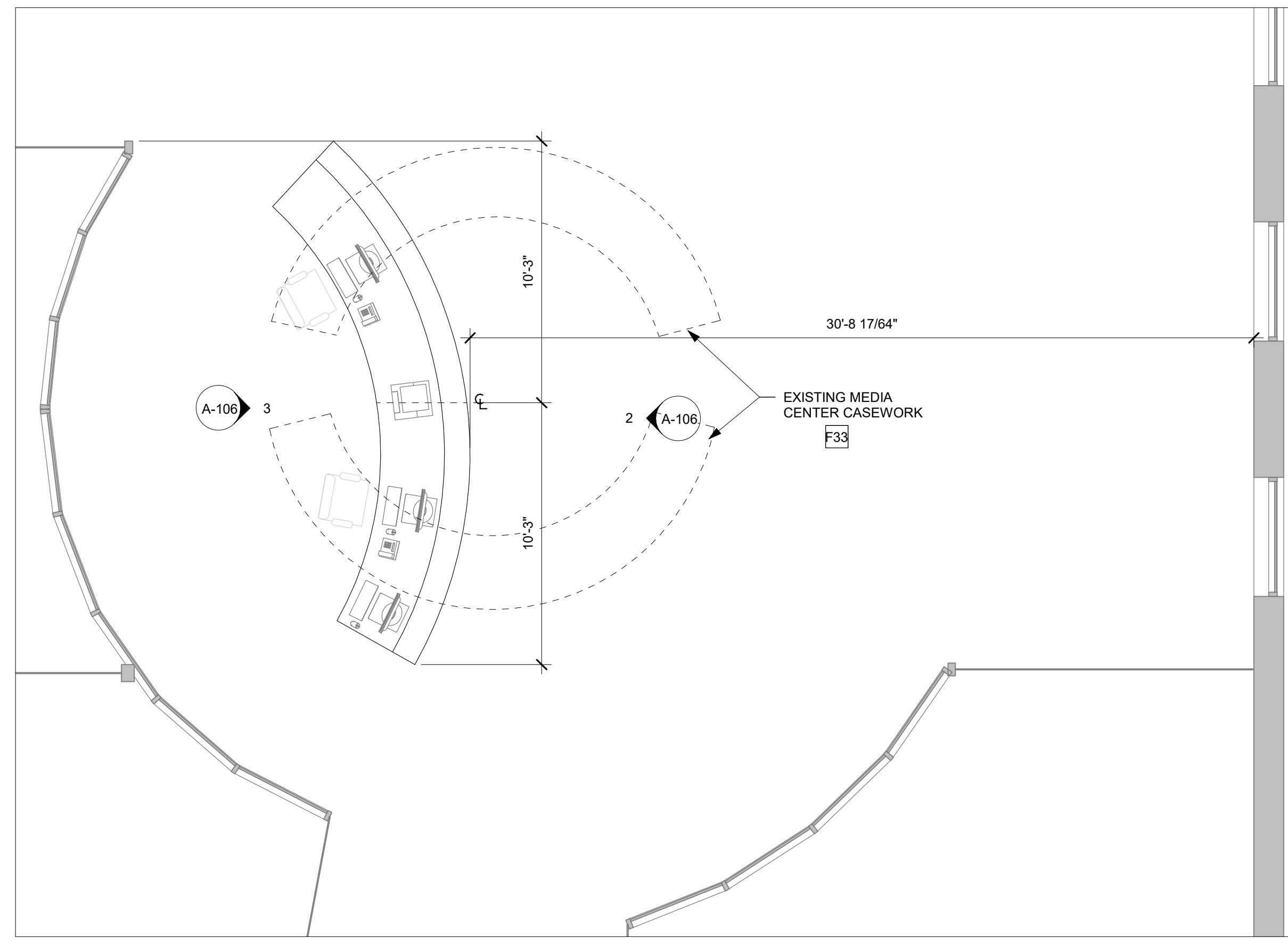
COLORED LINE LEGEND - MEDIA

--- WALL NEEDS TO BE REPAINTED

FINISH LEGEND - MEDIA CENTER

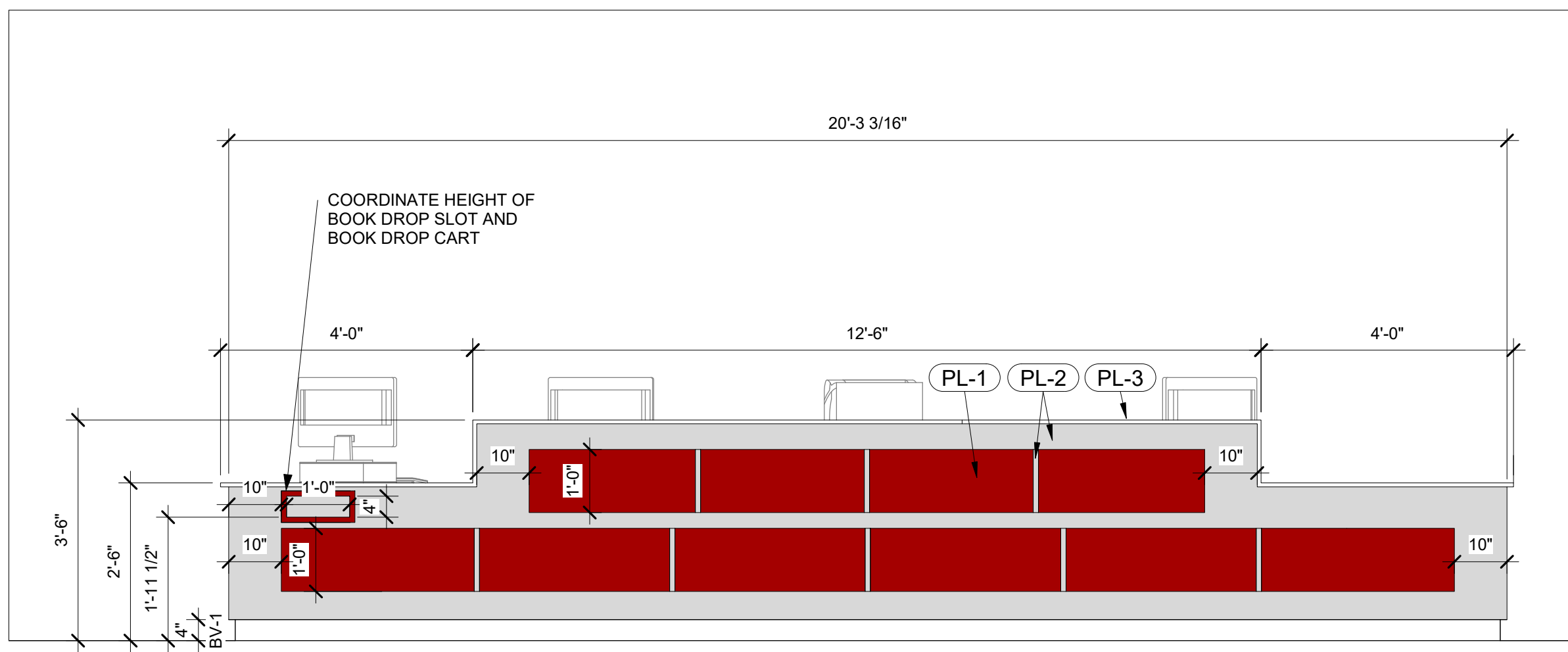
NOT IN SCOPE FOR WALL PAINTING ONLY. HOLLOW METAL FRAMES SHOULD STILL BE REPAINTED.

- CPT-1
- CPT-2

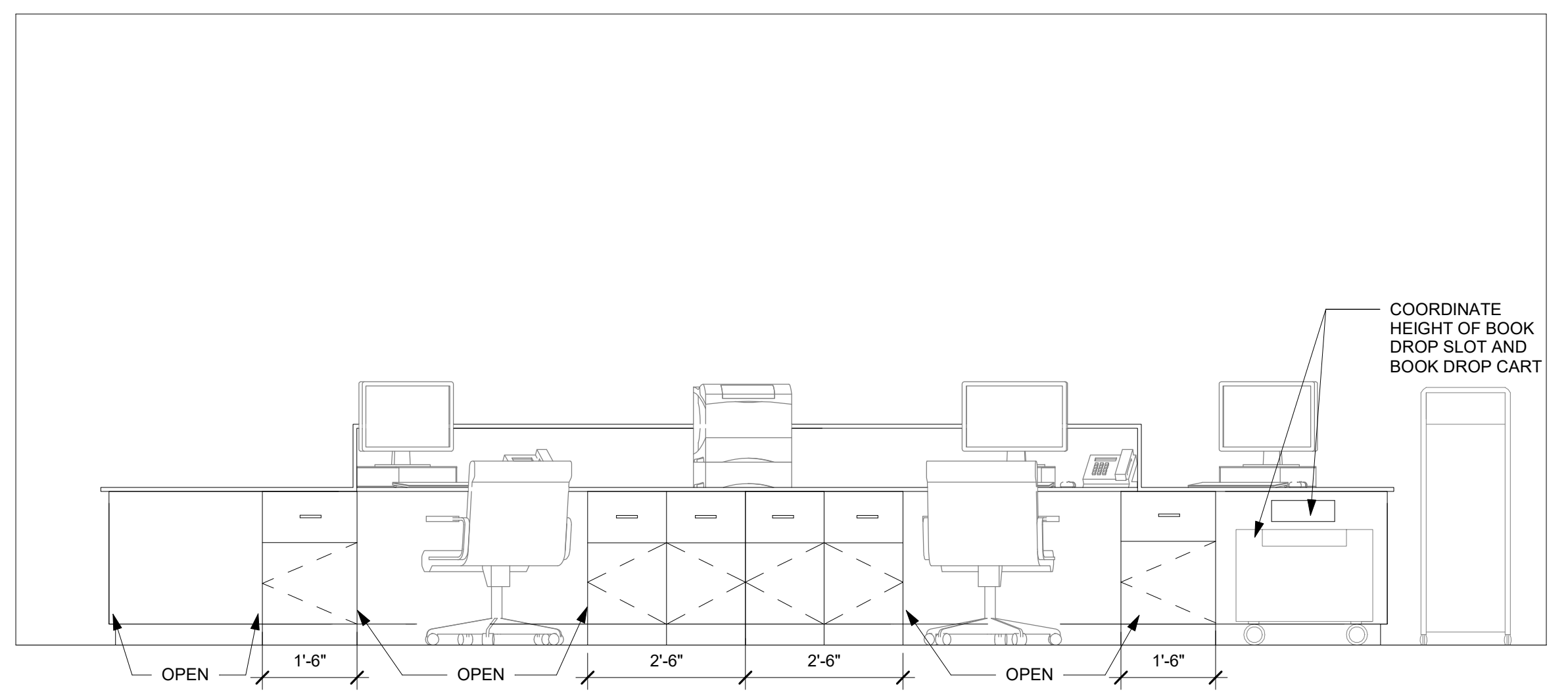


ENLARGED PLAN - AREA "B" ALTERATIONS - MEDIA CENTER CALLOUT - (BID ALTERNATE #1)
1 A-106 1/4" = 1'-0"

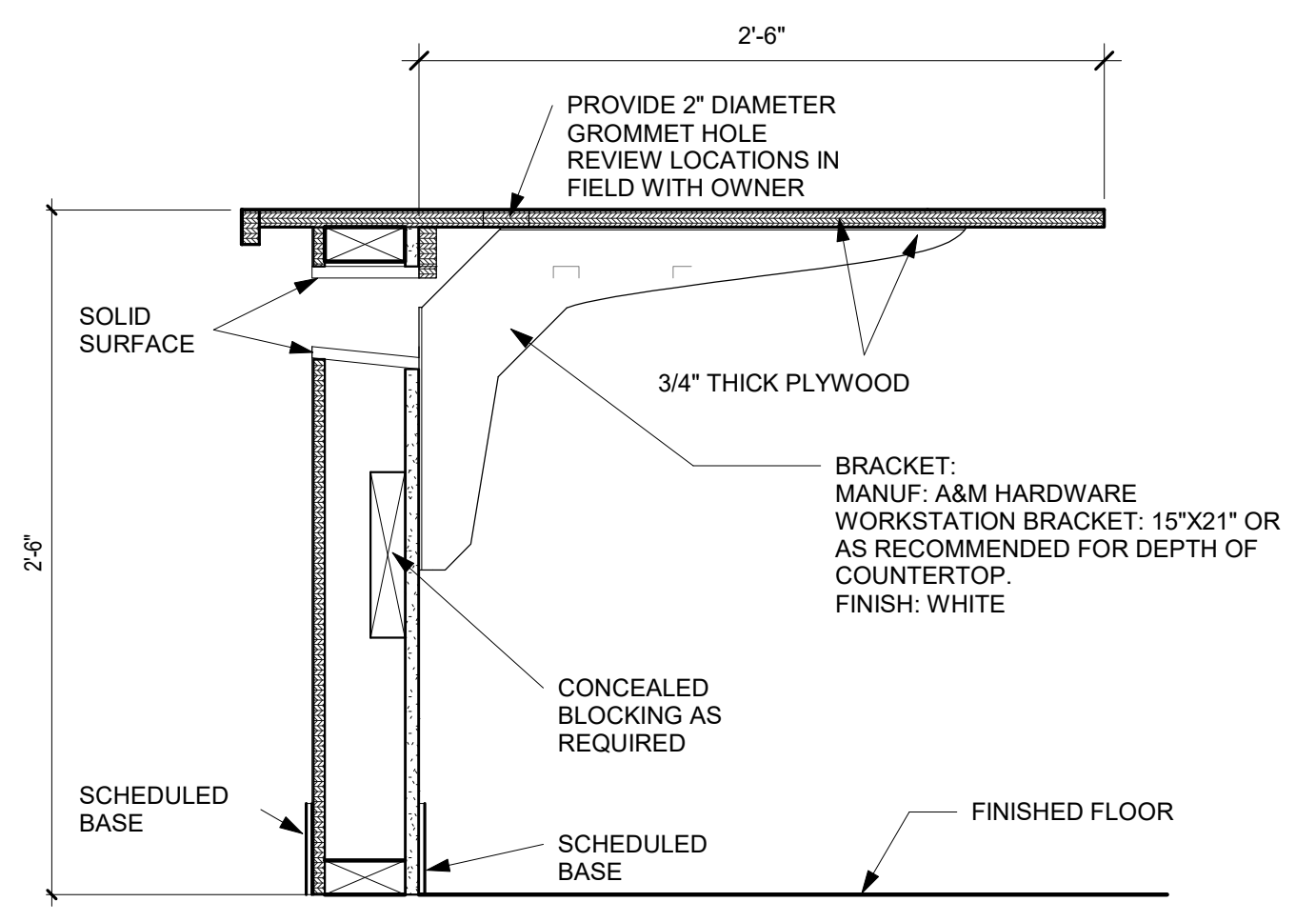
BID ALTERNATE #1: REMOVE EXISTING MEDIA CENTER CASEWORK



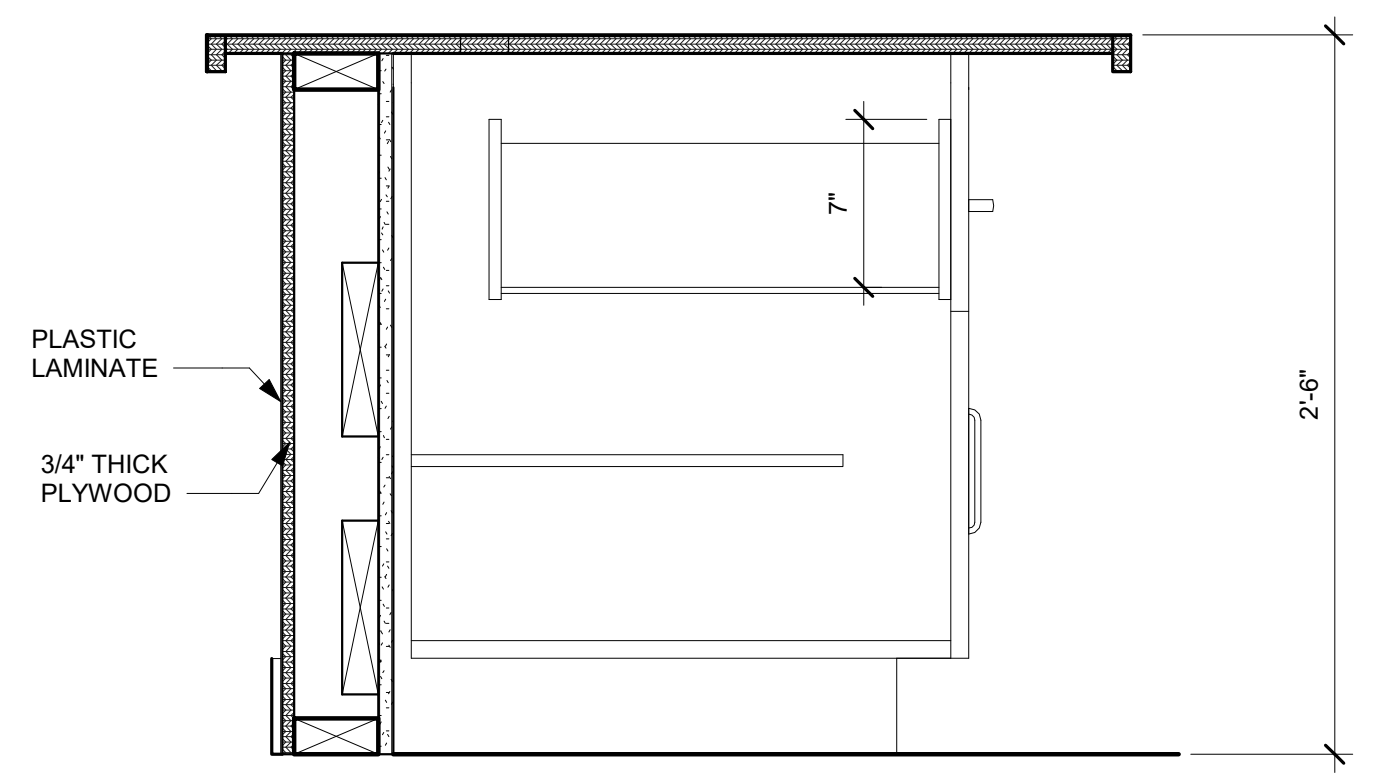
CIRC DESK FRONT ELEVATION - (BID ALTERNATE #1)
2 A-106 1/2" = 1'-0"



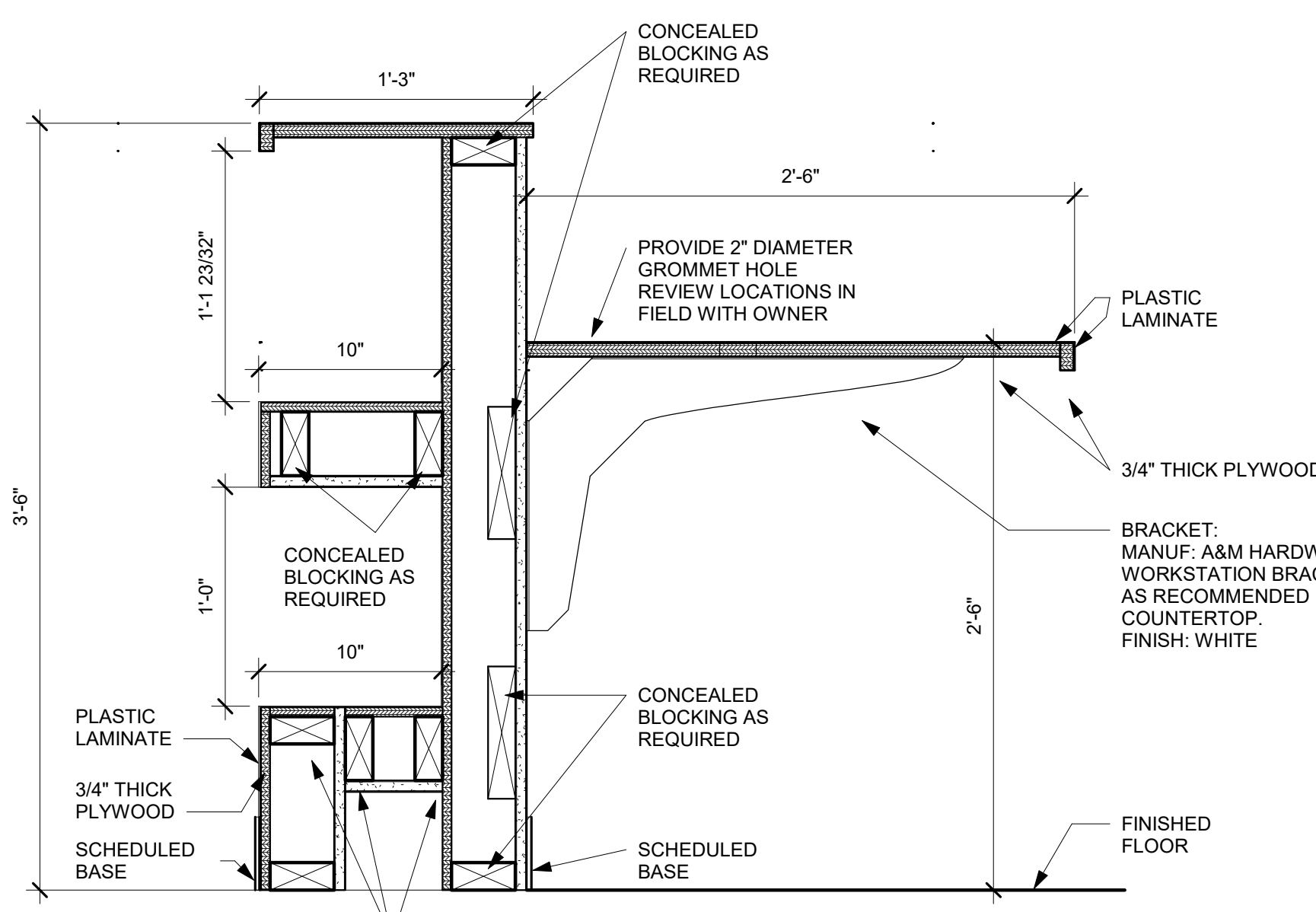
CIRC DESK BACK ELEVATION - (BID ALTERNATE #1)
3 A-106 1/2" = 1'-0"



SECTION AT 30" HEIGHT & BOOKDROP



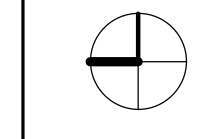
SECTION AT DRAWER/CABINET



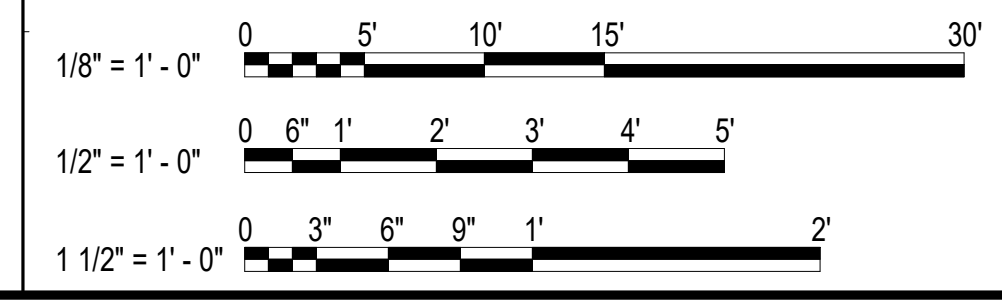
SECTION AT 42" HEIGHT

CIRC DESK SECTIONS - (BID ALTERNATE #1)
1 1/2" = 1'-0"

TRUE NORTH



GRAPHIC SCALE(S)



#	DESCRIPTION	DATE	INITIALS

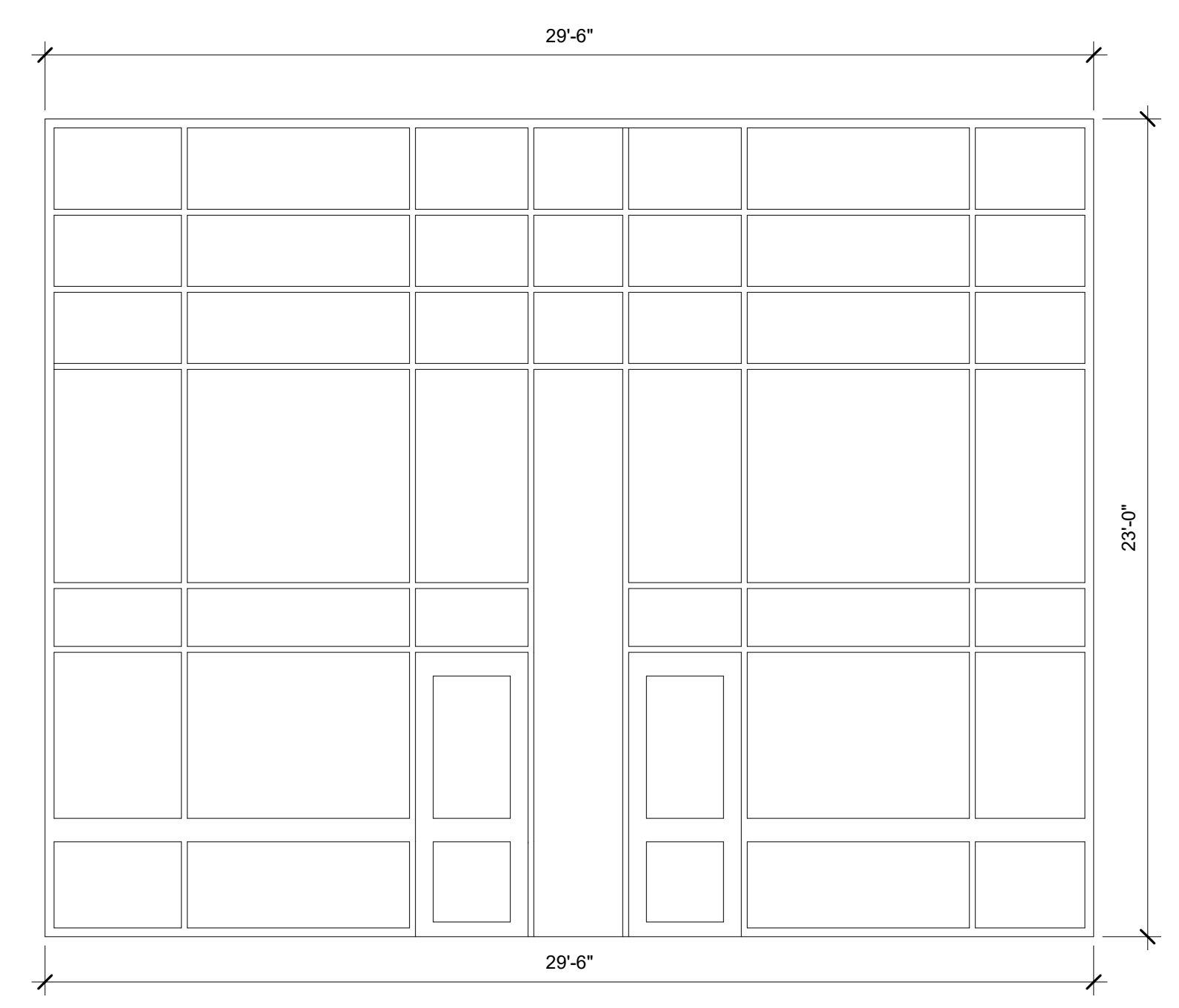
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HOLLOW METAL FRAME
 ELEVATIONS & DETAILS

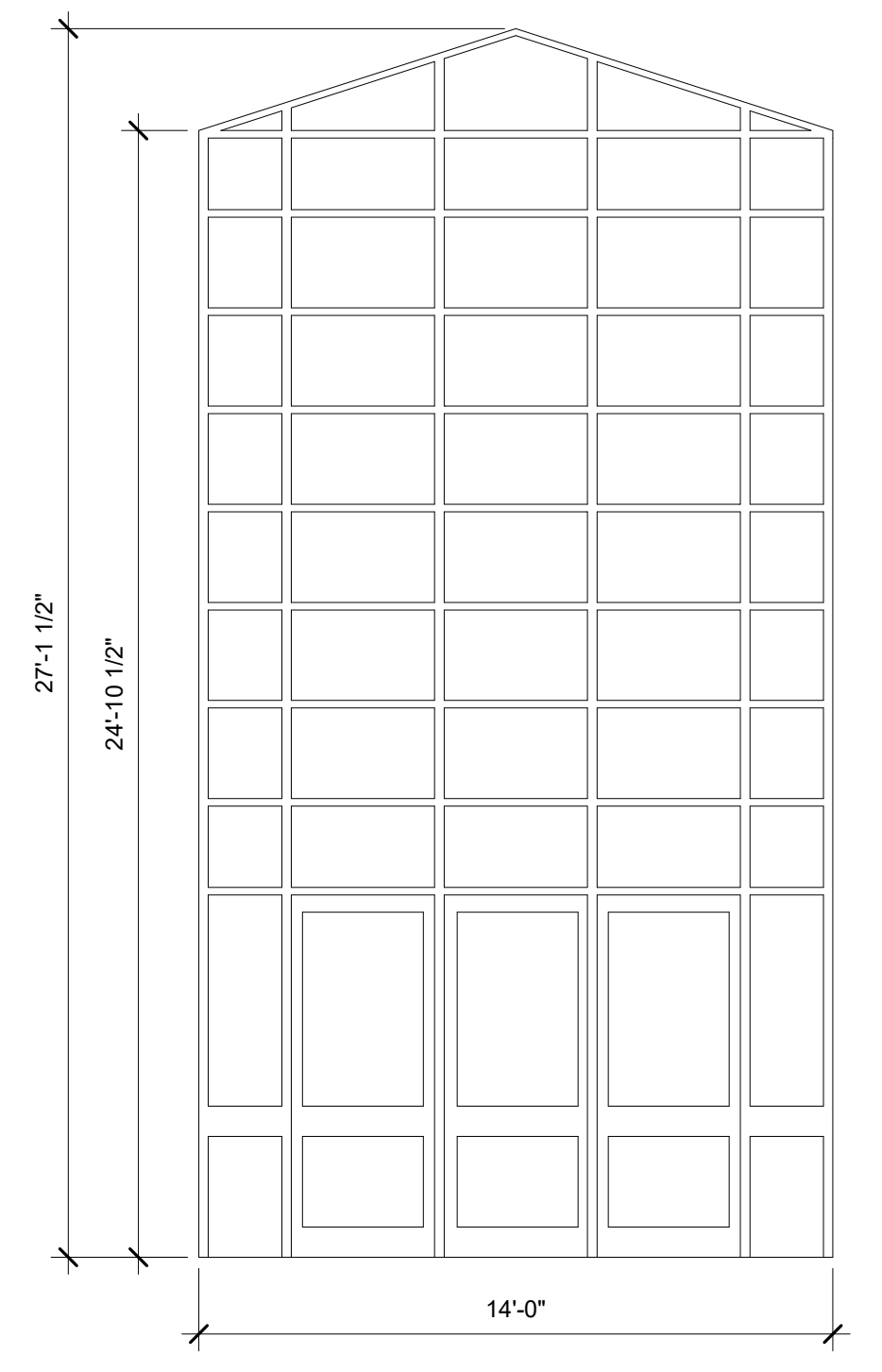


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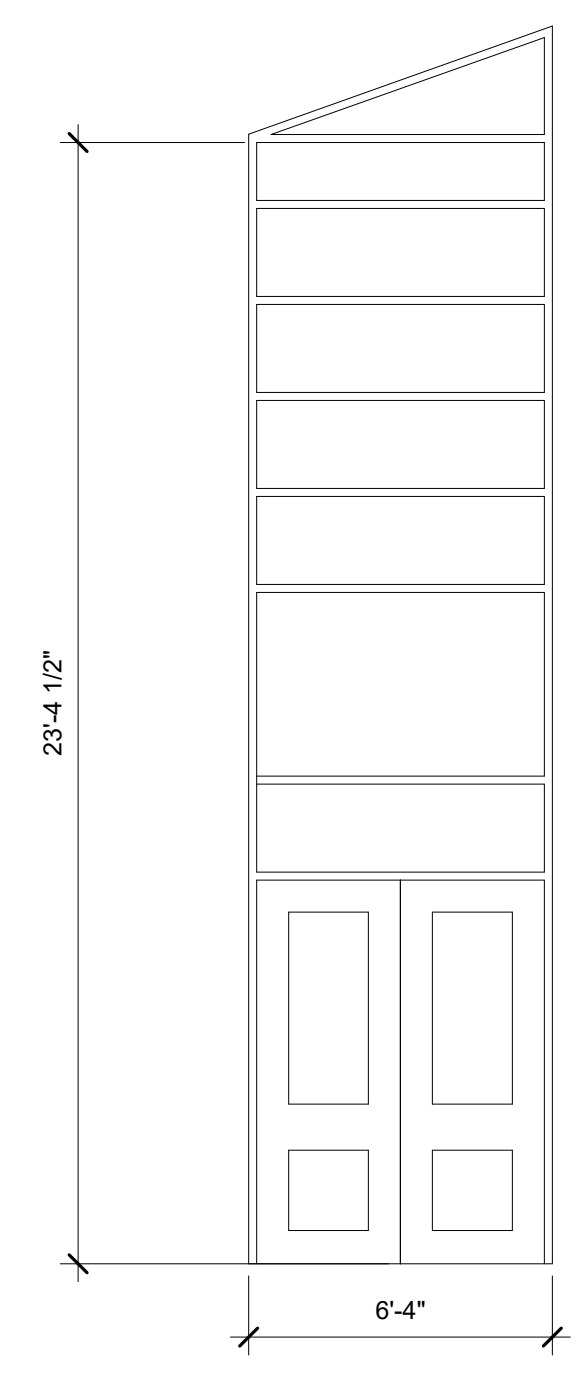
A-601



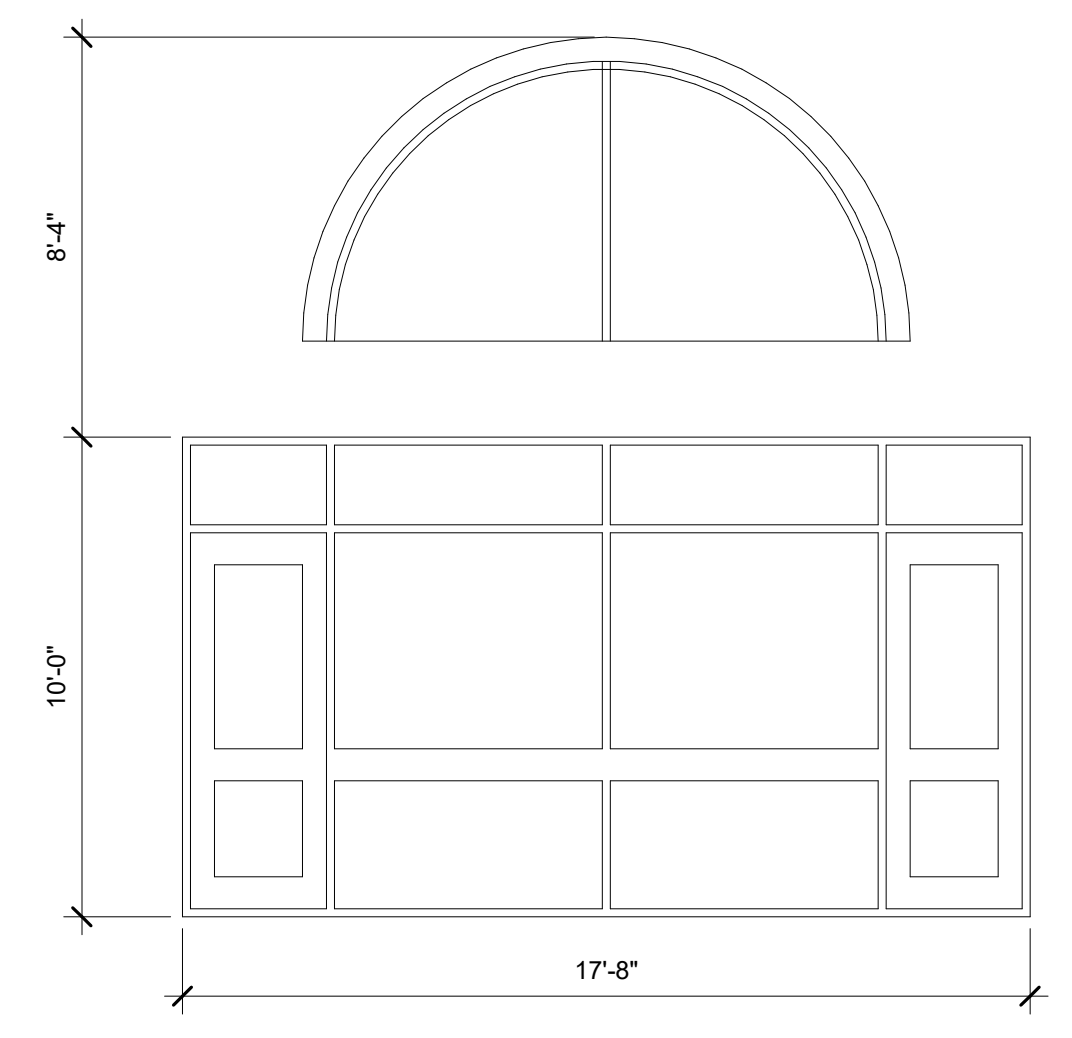
1 EXTERIOR ELEVATION 1
 A-601 1/4" = 1'-0"



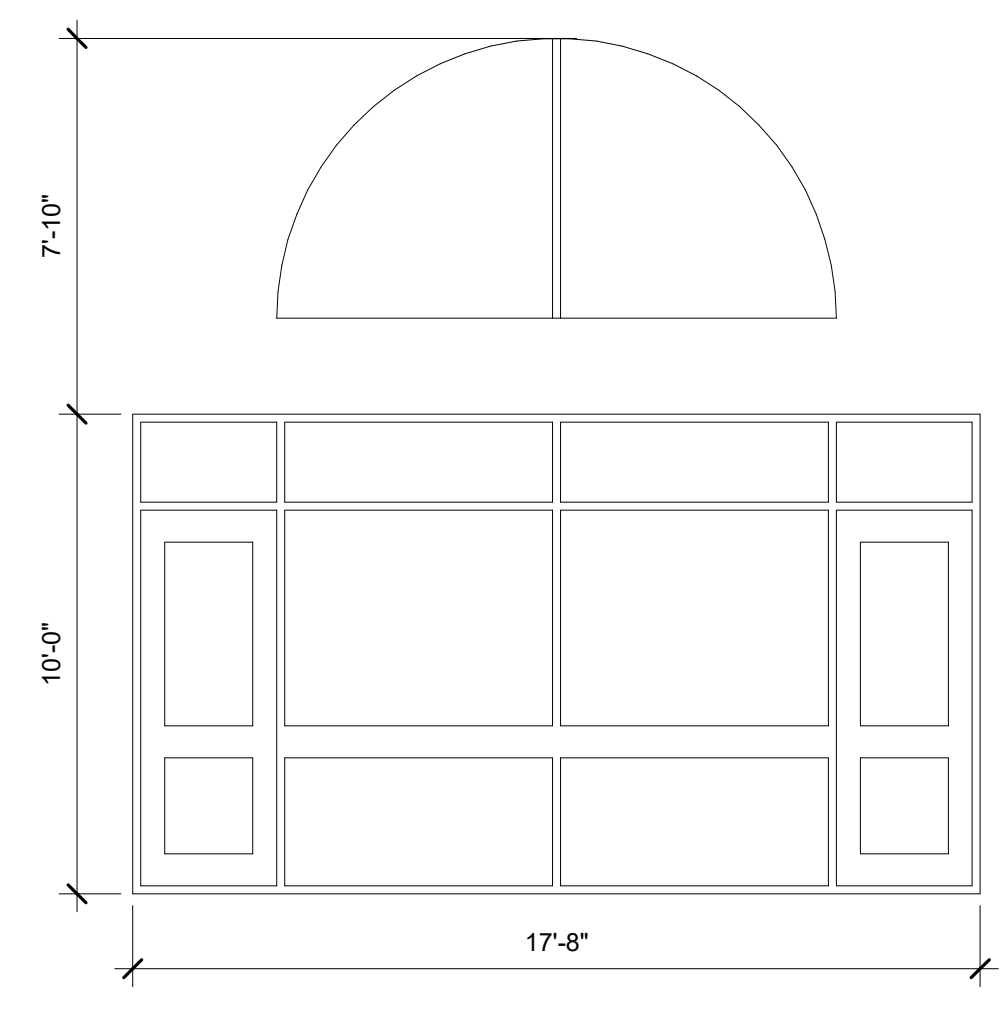
2 EXTERIOR ELEVATION 2
 A-601 1/4" = 1'-0"



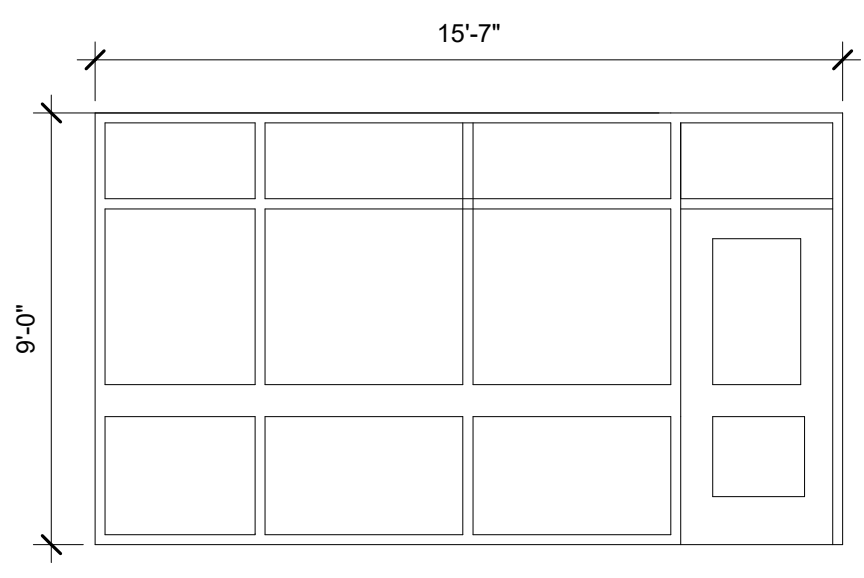
3 EXTERIOR ELEVATION 3
 A-601 1/4" = 1'-0"



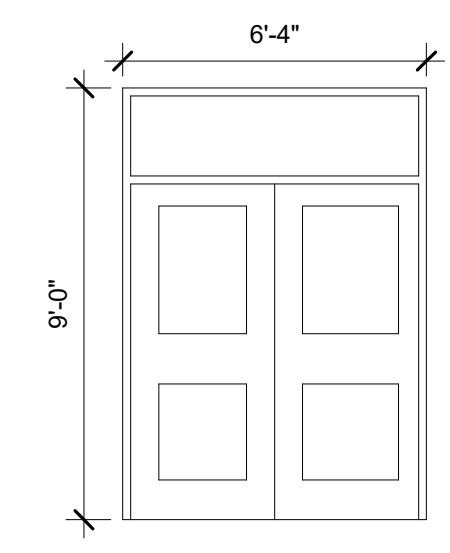
4 EXTERIOR ELEVATION 4
 A-601 1/4" = 1'-0"



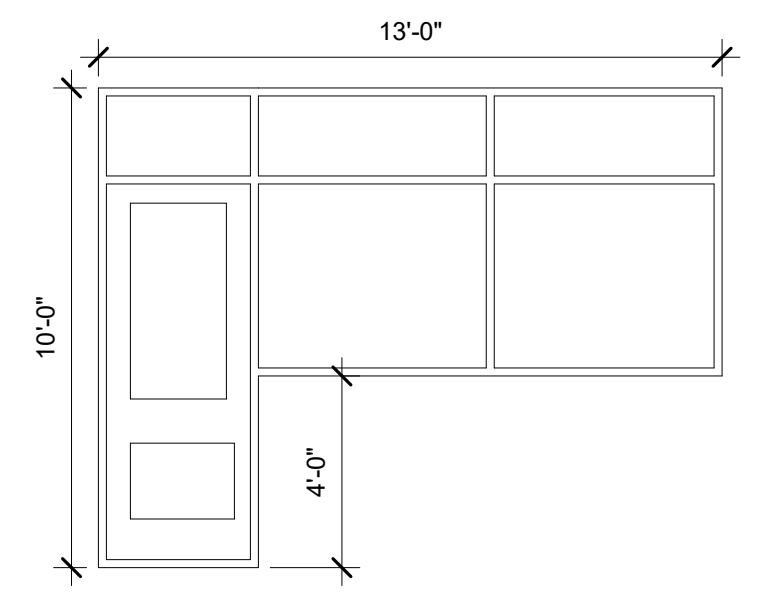
5 EXTERIOR ELEVATION 5
 A-601 1/4" = 1'-0"



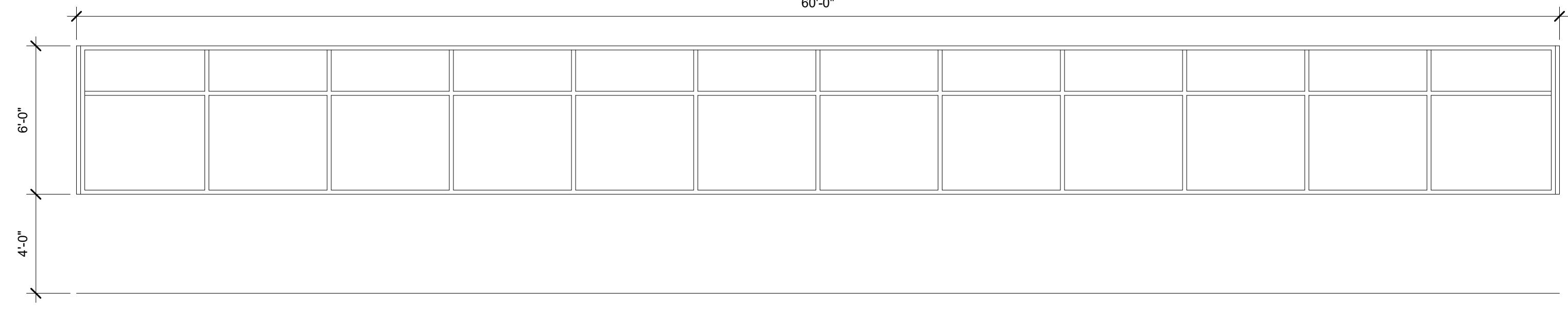
6 EXTERIOR ELEVATION 6
 A-601 1/4" = 1'-0"



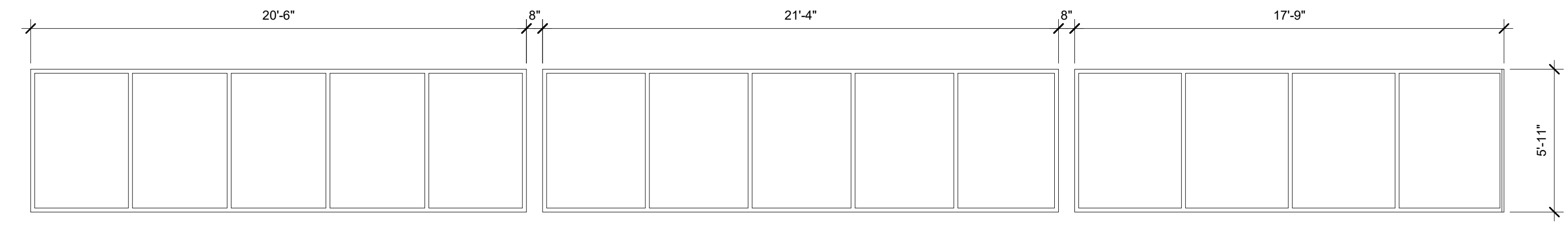
7 EXTERIOR ELEVATION 7
 A-601 1/4" = 1'-0"



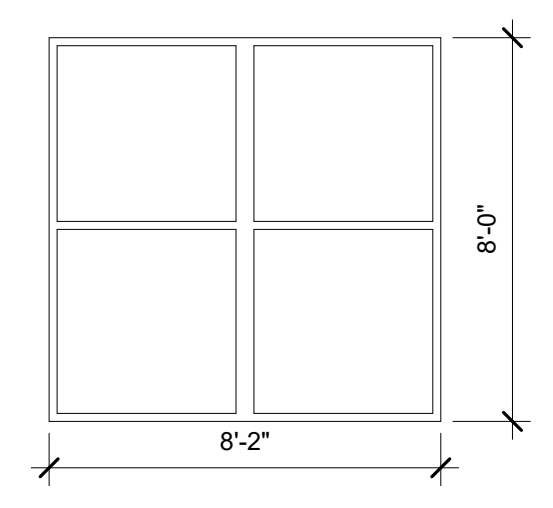
8 EXTERIOR ELEVATION 8
 A-601 1/4" = 1'-0"



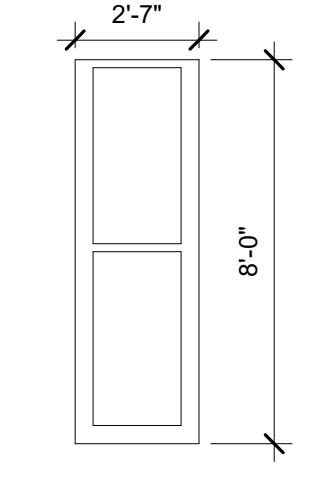
9 EXTERIOR ELEVATION 9
 A-601 1/4" = 1'-0"



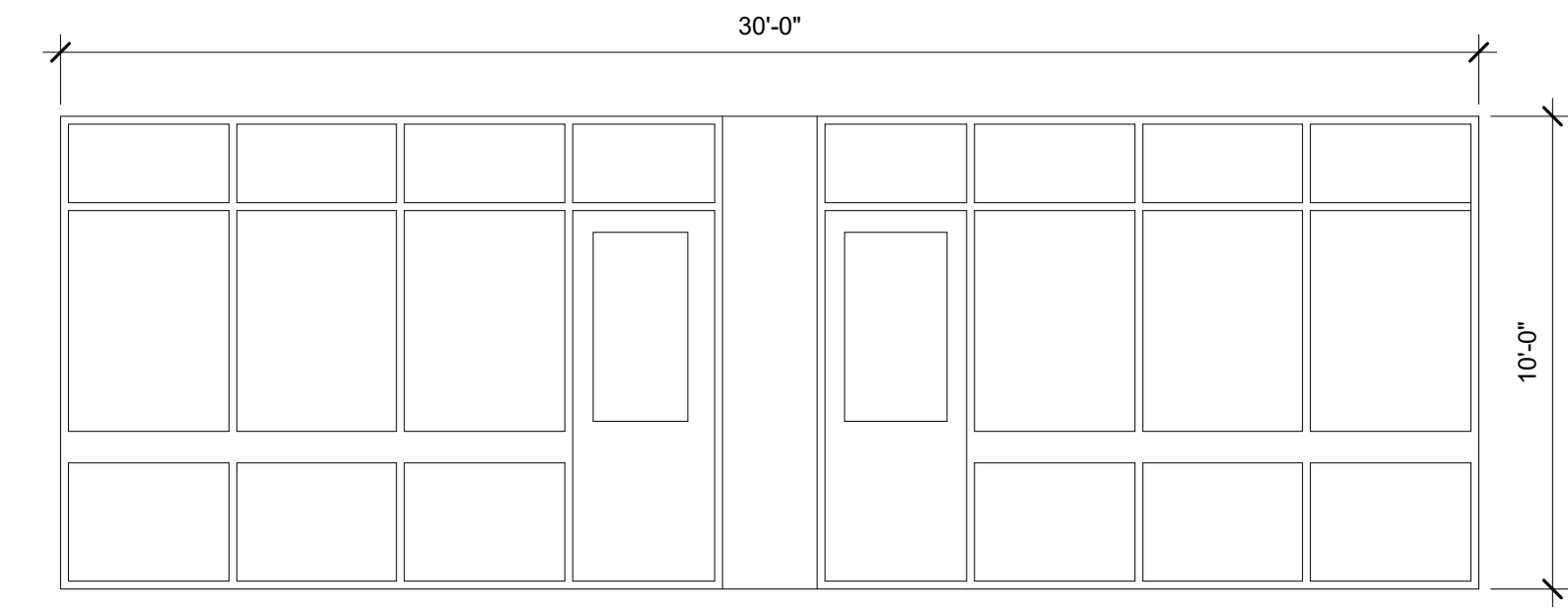
10 EXTERIOR ELEVATION 10
 A-601 1/4" = 1'-0"



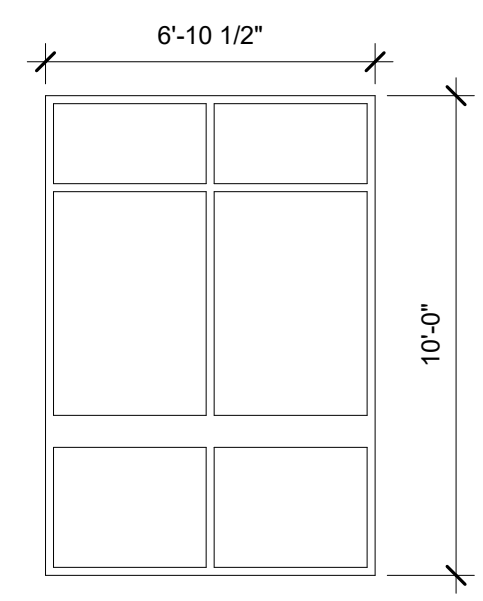
11 INTERIOR ELEVATION 11
 A-601 1/4" = 1'-0"



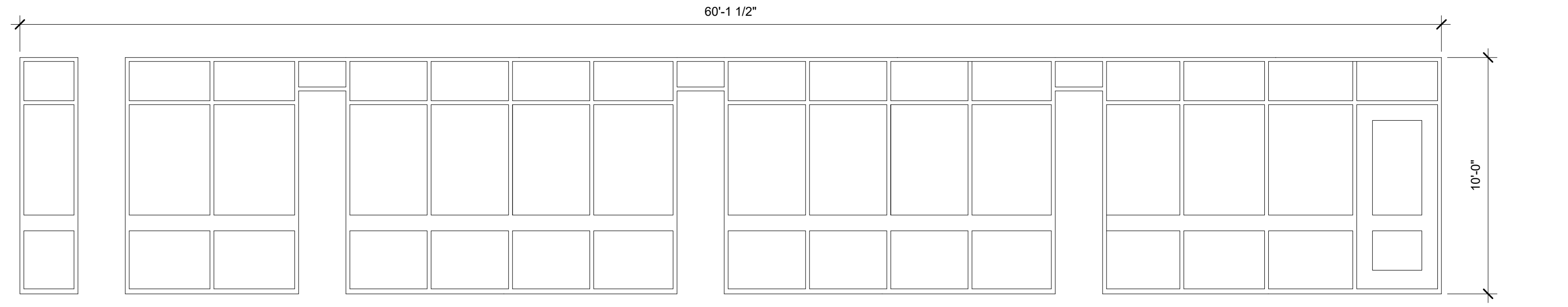
12 INTERIOR ELEVATION 12
 A-601 1/4" = 1'-0"



13 INTERIOR ELEVATION 13
 A-601 1/4" = 1'-0"



14 INTERIOR ELEVATION 14
 A-601 1/4" = 1'-0"



15 INTERIOR ELEVATION 15
 A-601 1/4" = 1'-0"

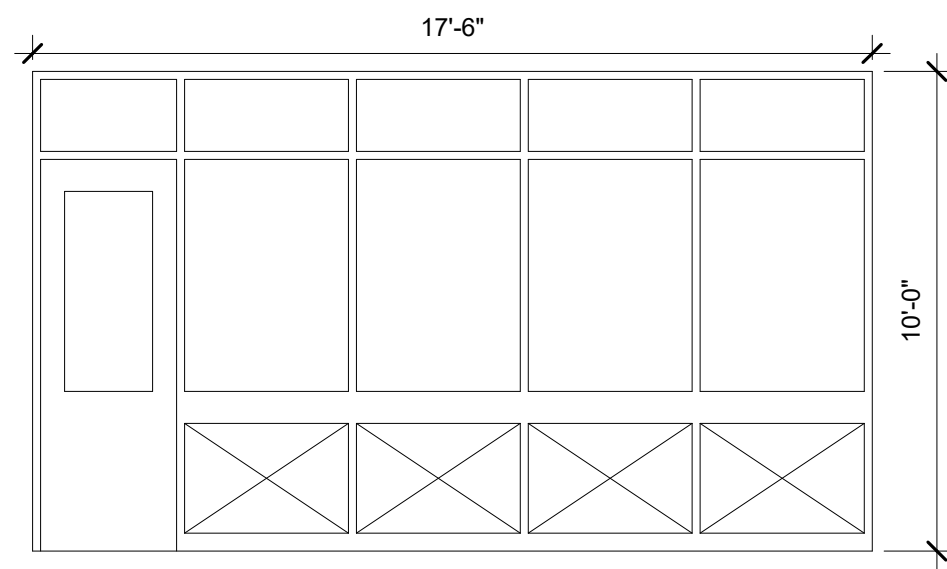
REVISION SCHEDULE		
#	DESCRIPTION	DATE

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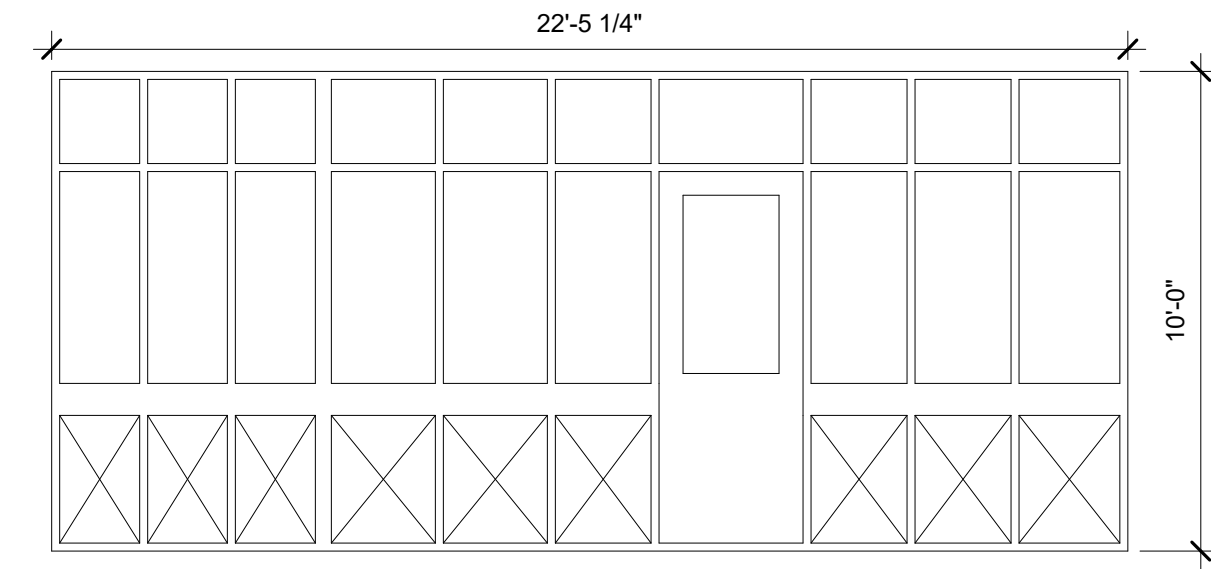
HOLLOW METAL FRAME
 ELEVATIONS & DETAILS

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 Project: 223133

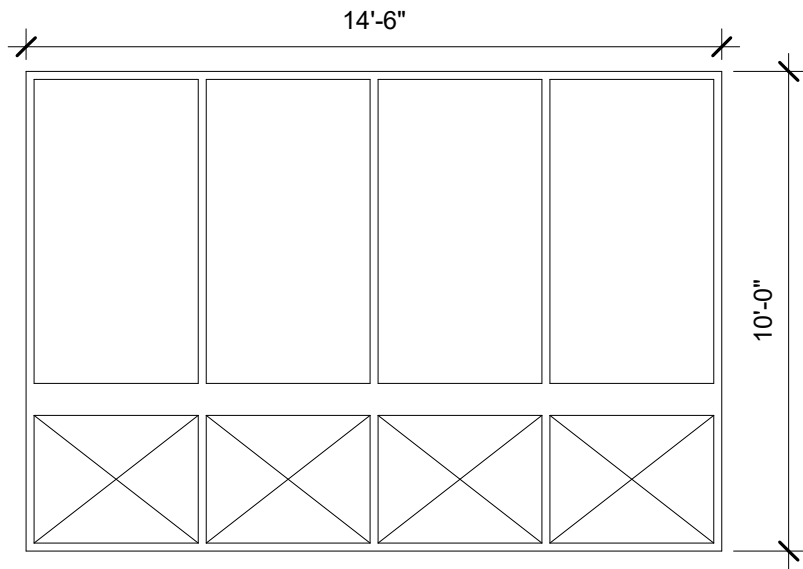
A-602



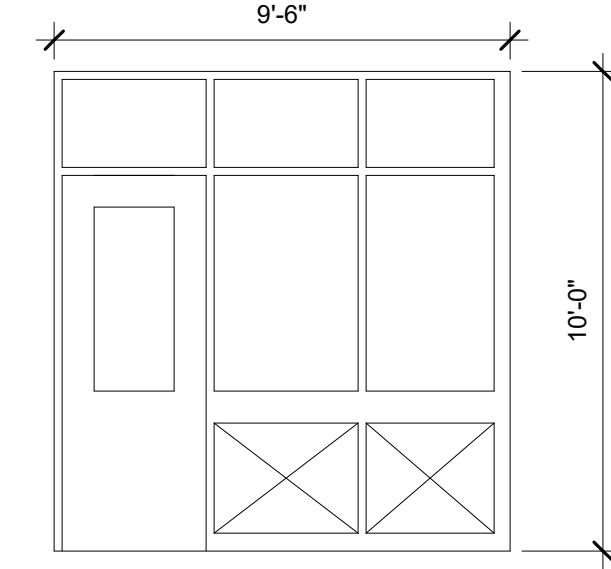
1 INTERIOR ELEVATION 16
 A-602 1/4" = 1'-0"



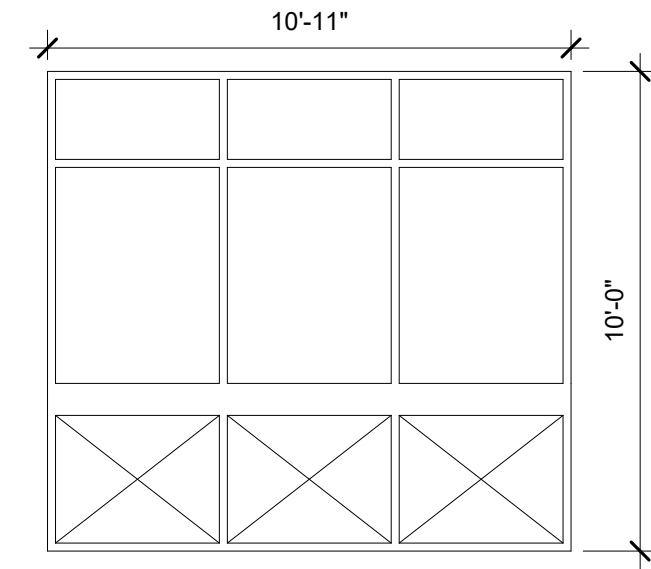
2 INTERIOR ELEVATION 17
 A-602 1/4" = 1'-0"



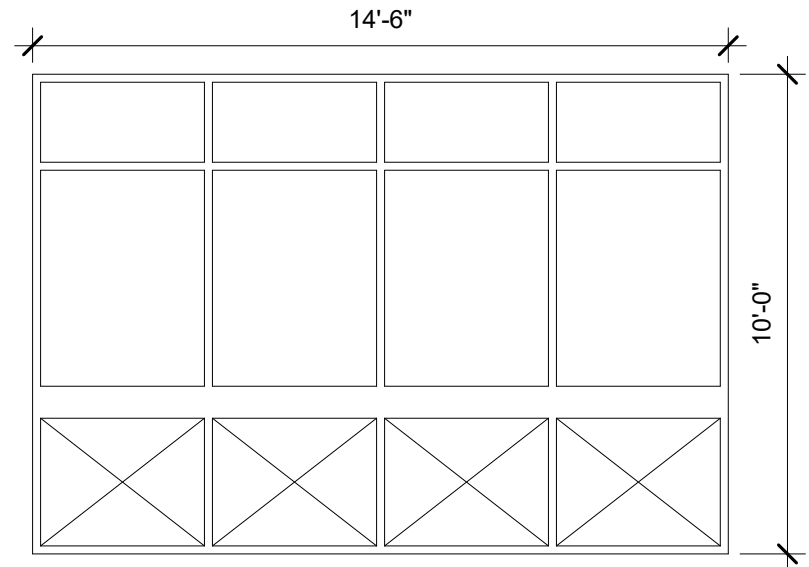
3 INTERIOR ELEVATION 18
 A-602 1/4" = 1'-0"



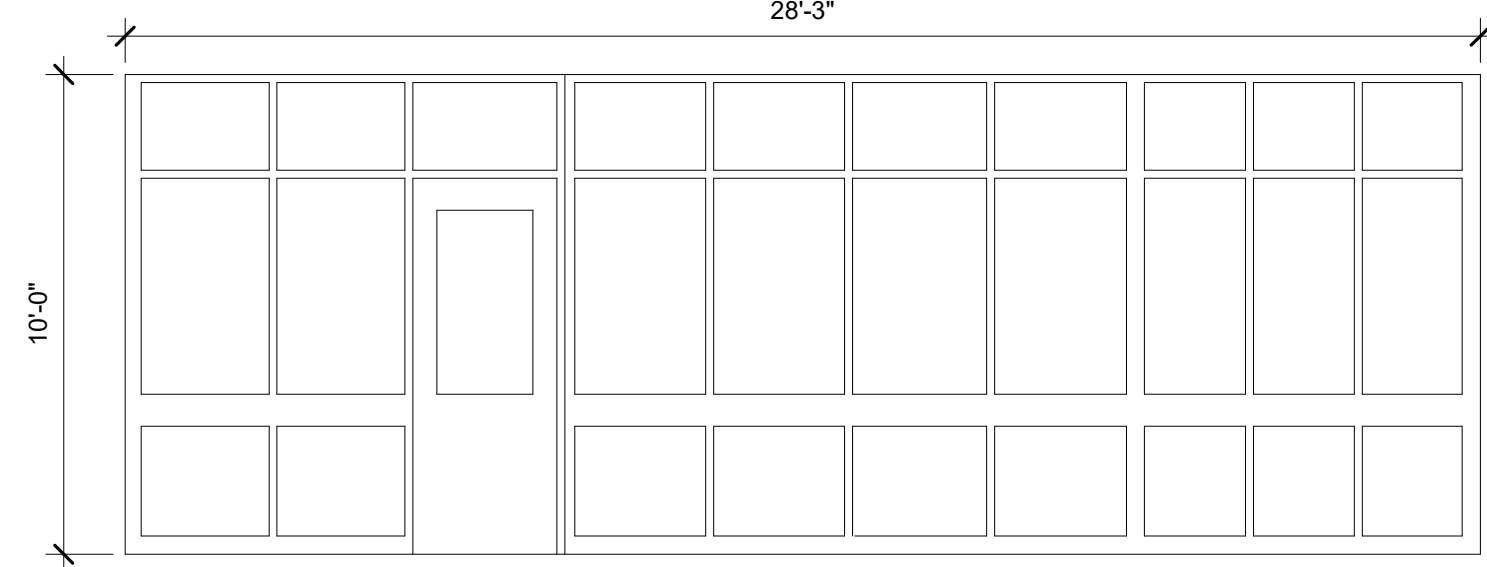
4 INTERIOR ELEVATION 19
 A-602 1/4" = 1'-0"



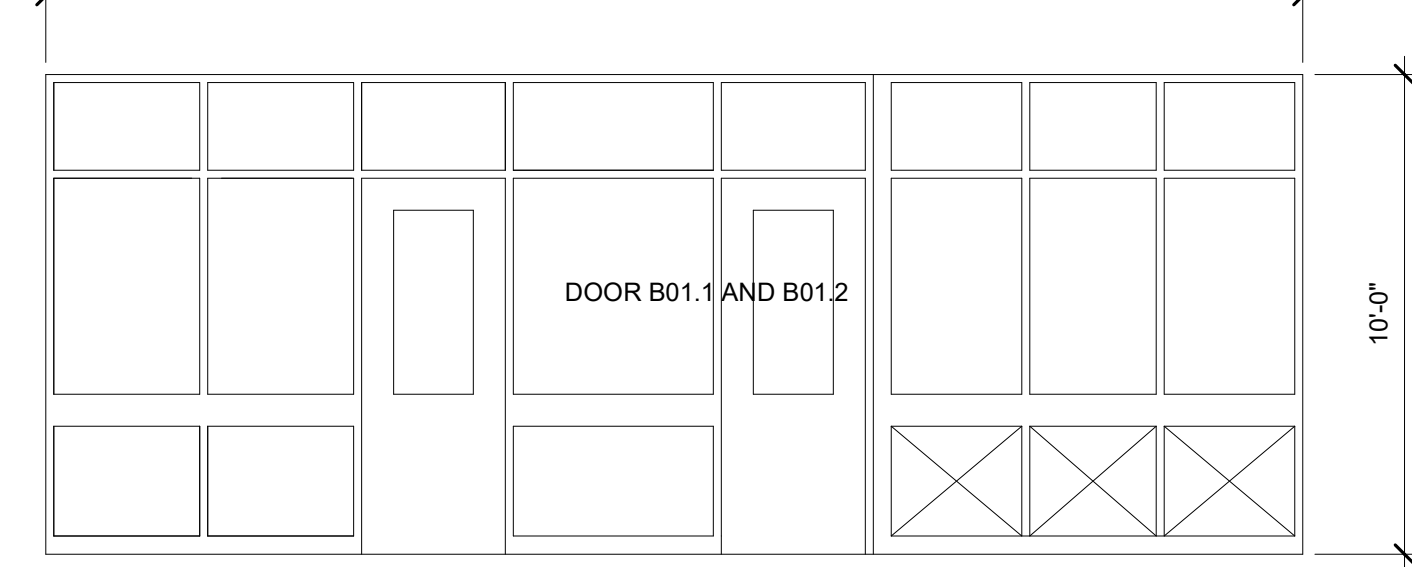
5 INTERIOR ELEVATION 20
 A-602 1/4" = 1'-0"



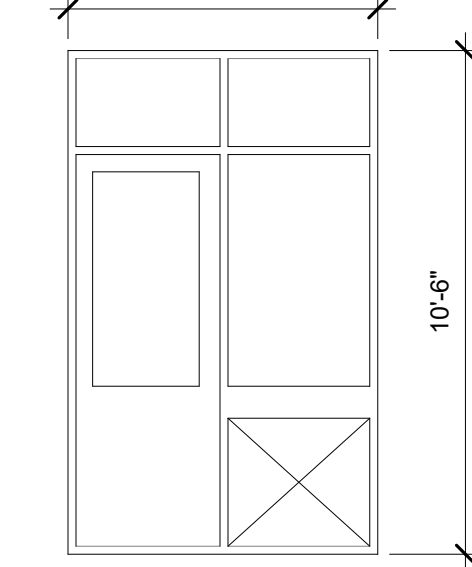
6 INTERIOR ELEVATION 21
 A-602 1/4" = 1'-0"



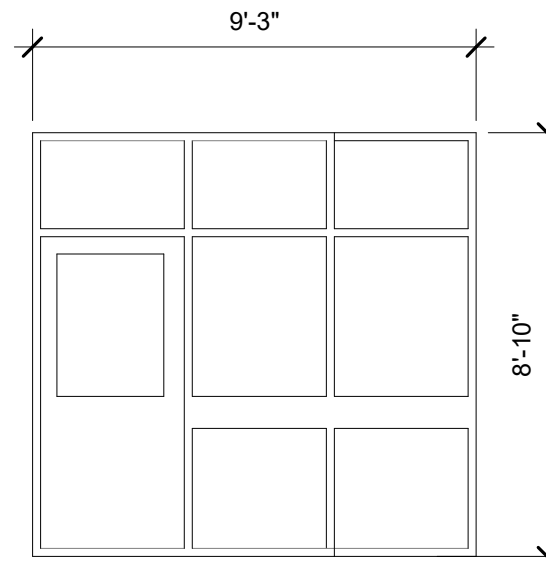
7 INTERIOR ELEVATION 22
 A-602 1/4" = 1'-0"



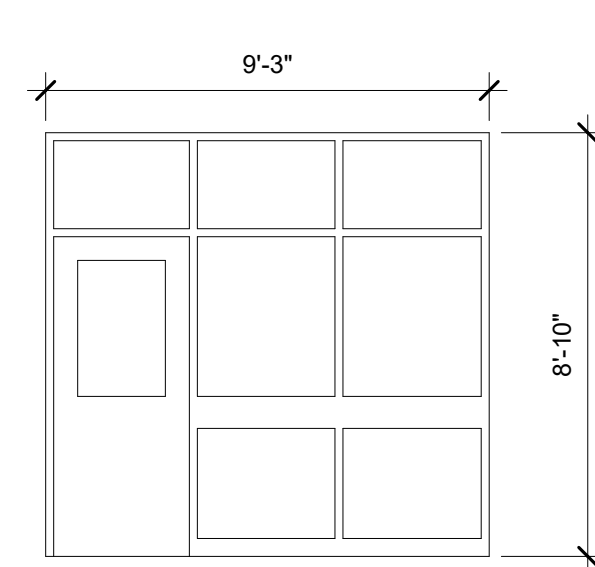
8 INTERIOR ELEVATION 23
 A-602 1/4" = 1'-0"



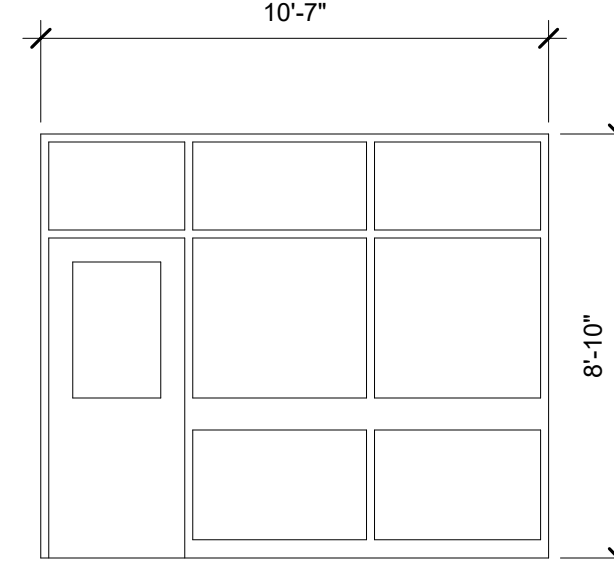
9 INTERIOR ELEVATION 24
 A-602 1/4" = 1'-0"



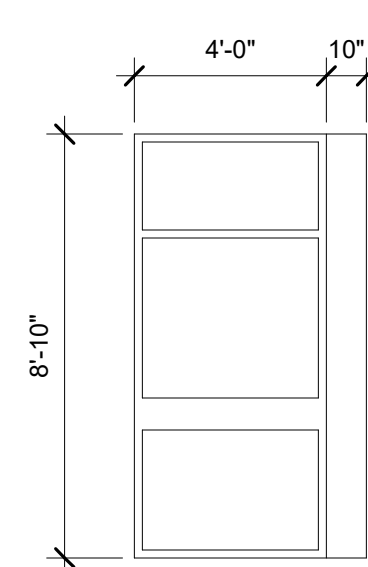
10 INTERIOR ELEVATION 25
 A-602 1/4" = 1'-0"



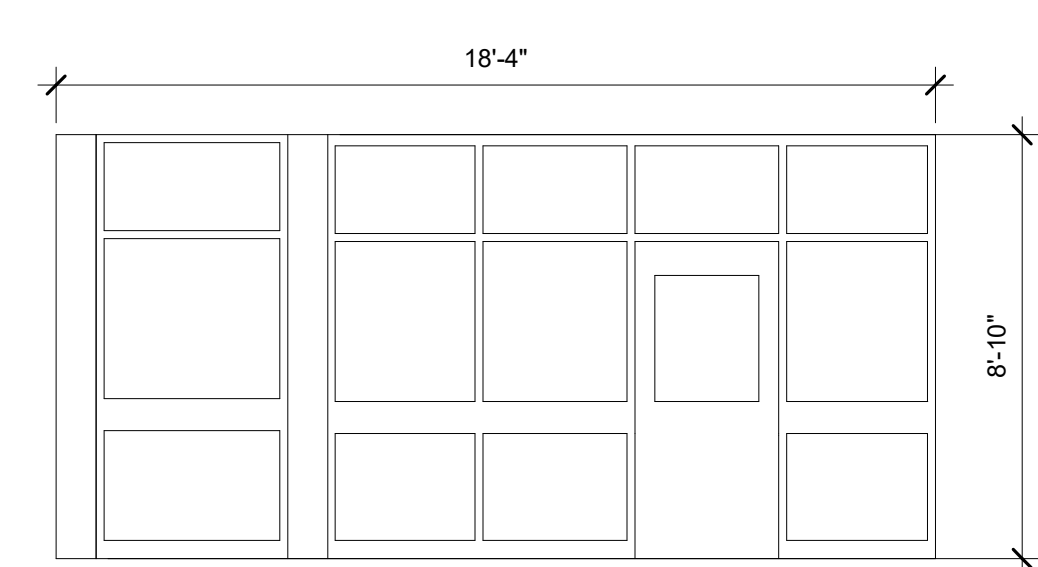
11 INTERIOR ELEVATION 26
 A-602 1/4" = 1'-0"



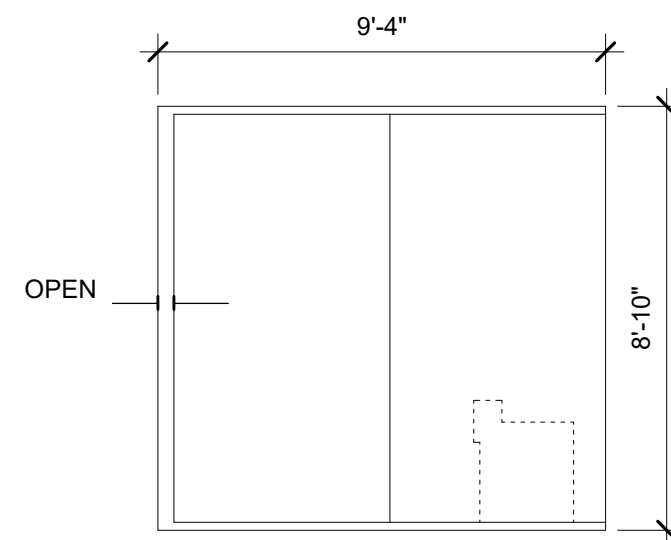
12 INTERIOR ELEVATION 27
 A-602 1/4" = 1'-0"



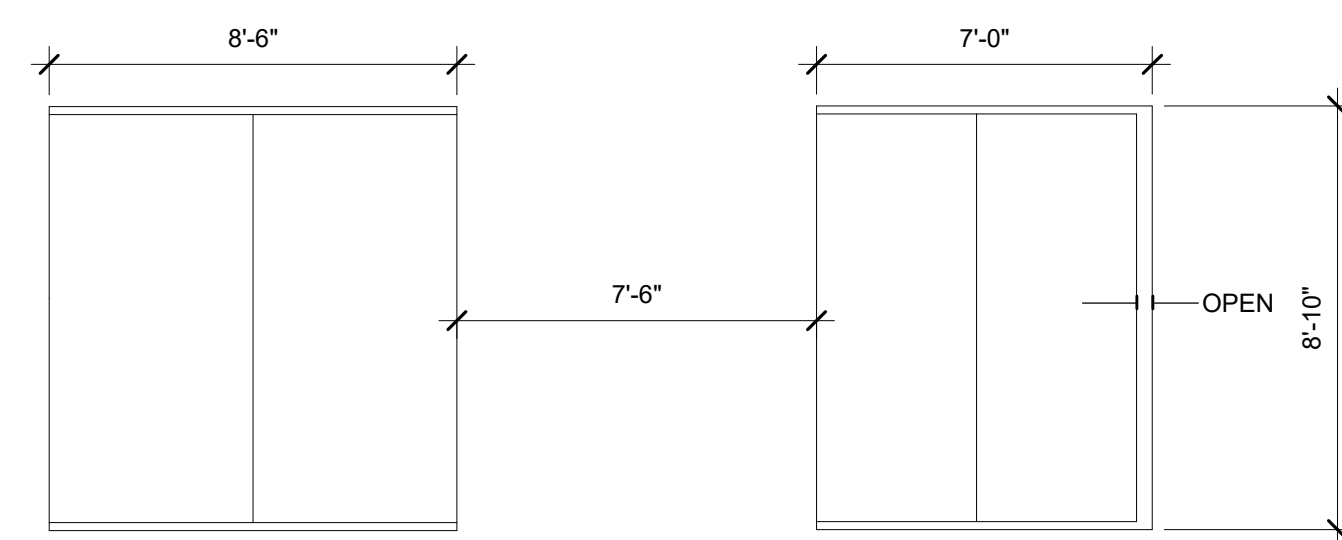
13 INTERIOR ELEVATION 28
 A-602 1/4" = 1'-0"



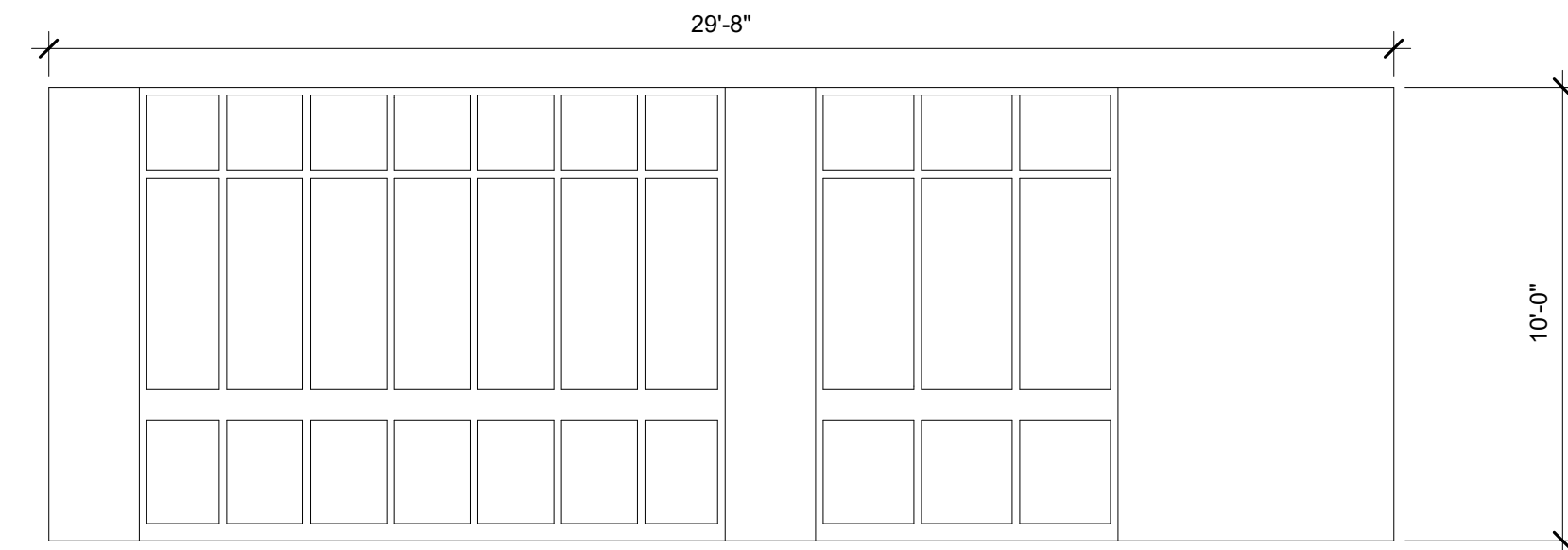
14 INTERIOR ELEVATION 29
 A-602 1/4" = 1'-0"



15 INTERIOR ELEVATION 30
 A-602 1/4" = 1'-0"



16 INTERIOR ELEVATION 31
 A-602 1/4" = 1'-0"



17 INTERIOR ELEVATION 32
 A-602 1/4" = 1'-0"

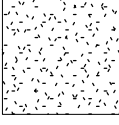
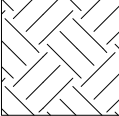
FINISH SCHEDULE

#	MATERIAL	MANUFACTURER	STYLE/COLOR	CONTACT	REMARKS
CPT-1	CARPET TILE - FIELD	SHAW CONTRACT	DIFFUSE COLOR + DISPERSE COLOR COLOR TBD	DEBORAH CREAMER 757-635-7749	
CPT-2	CARPET TILE - ACCENT	SHAW CONTRACT	DIFFUSE COLOR + DISPERSE COLOR COLOR TBD	DEBORAH CREAMER 757-635-7749	
BV-1	VINYL BASE	JOHNSONITE	TBD	BILL MORGAN 804-382-6317	4" COVE BASE
PL-1	PLASTIC LAMINATE	FORMICA	NEW BURGUNDY 7966-58	MATTE FINISH	BID ALT FOR MEDIA CENTER CASEWORK BOOK CUBBIES
PL-2	PLASTIC LAMINATE	FORMICA	STORM 912-ML	MONOLITH FINISH	BID ALT FOR MEDIA CENTER CASEWORK FACE OF CASEWORK
PL-3	PLASTIC LAMINATE	FORMICA	SUGAR GLASS 3705-58	MATTE FINISH	BID ALT FOR MEDIA CENTER CASEWORK COUNTER
PT-1	PAINT - FIELD	SHERWIN WILLIAMS	SW2832 COLONIAL REVIVAL GRAY	CASEY GIBSON 757-592-8384	SEE FINISH PLAN GENERAL NOTE #13 FOR PAINT SHEEN
PT-2	PAINT - CEILING	SHERWIN WILLIAMS	SW7004 SNOWBOUND	CASEY GIBSON 757-592-8384	SEE FINISH PLAN GENERAL NOTE #13 FOR PAINT SHEEN
PT-3	PAINT - STOREFRONT	SHERWIN WILLIAMS	SW6258 TRICORN BLACK	CASEY GIBSON 757-592-8384	SEE FINISH PLAN GENERAL NOTE #13 FOR PAINT SHEEN

FINISH PLAN GENERAL NOTES

- ALL INTERIOR FINISH SPECIFICATIONS ARE INCLUDED HEREIN OR IN THE ATTACHED SPECIFICATIONS, IF APPLICABLE. DISCREPANCIES, OMISSIONS, AND DISCONTINUED OR DELAYED MATERIALS ARE TO BE REPORTED TO THE DESIGNER IMMEDIATELY FOR RESOLUTION PRIOR TO PROCEEDING. THE DESIGNER IS NOT RESPONSIBLE FOR DISCREPANCIES OF OMISSIONS THAT ARISE DUE TO CHANGES BY ANOTHER PARTY AFTER ORIGINAL DRAWING ISSUANCE DATE UNLESS RECORDED AS A REVISION BY GTA.
- SUBMIT SAMPLES OF ALL FINISH MATERIALS TO THE DESIGNER FOR APPROVAL PRIOR TO COMMENCING WORK. SUBMIT ACTUAL COLOR AND FINISH OF PAINT. SAMPLES OF NATURAL STONE OR OTHER MATERIALS WITH WIDE COLOR VARIATIONS SHALL COME FROM ACTUAL MATERIAL TO BE USED.
- INSTALL ALL FINISH MATERIALS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- ONLY ONE DYE-LOT OF EACH STYLE AND COLOR SPECIFIED IN THE FINISH SCHEDULE SHALL BE USED.
- REMOVE FINISH MATERIALS FROM PACKAGING AND ALLOW TO ACCLIMATIZE TO AREA OF INSTALLATION ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- ALL SURFACES WHICH ARE TO RECEIVE A FINISH APPLICATION SHALL BE COMPLETELY SMOOTH AS SUITABLE FOR SCHEDULED FINISH MATERIAL. REPAIR EXISTING CONDITIONS AS REQUIRED.
- ALL PAINT SURFACES ARE TO RECEIVE ONE PRIME COAT AND A MINIMUM OF TWO FINISH COATS. APPLY ADDITIONAL COATS OF PRIME AND FINISH PAINT AS REQUIRED UNTIL EXISTING UNDERCOATS OR OTHER CONDITIONS ARE FULLY CONCEALED AND PAINT FILM IS OF UNIFORM FINISH, COLOR AND APPEARANCE. PREP. PRIME AND PAINT UP TO 6'-0" A.F.F WITH TWO-PART EPOXY THROUGHOUT. UNO. PAINT FROM 6'-0" TO 10'-0" A.F.F WITH ONE-PART EPOXY, UNO.
- USE FLOORING MANUFACTURER'S RECOMMENDED ADHESIVE, U.N.O.
- FLOORING TRANSITIONS WILL OCCUR UNDER CENTERLINE OF DOOR IN CLOSED POSITION, U.N.O.
- WHERE FLOORING MATERIALS OF DIFFERING THICKNESSES MEET (IE TILE TO WOOD), LEVEL AS REQUIRED TO MEET ADA GUIDELINES AND ENSURE SMOOTH TRANSITION. COORDINATE TRANSITION DETAILS AFTER DEMOLITION OCCURS.
- INSTALL SELF-LEVELING COMPOUND TO LEVEL FLOOR TO TCNA REQUIREMENTS AS REQUIRED.
- PRIOR TO FLOORING INSTALLATIONS, PERFORM SLAB TESTS TO ENSURE MOISTURE CONTENT MEETS MANUFACTURER'S ACCEPTABLE LEVELS. CONTRACTOR TO DOCUMENT AND MAINTAIN RECORDS. G.C. TO TAKE APPROPRIATE MEASURES TO ENSURE WATER VAPOR FROM THE SUBFLOOR DOES NOT AFFECT THE LONG TERM INSTALLATION OF THE FLOORING FINISHES.
- G.C SHALL VERIFY EXISTING PAINT TYPE (OIL VS. LATEX) AND SHALL USE APPROPRIATE PRIMER ACCORDINGLY.
- PAINT FINISHES: TRIM/MOULDING/MILLWORK/DOORS= SEMI-GLOSS, CEILINGS & WALLS = EGGSHELL.

FINISH LEGEND

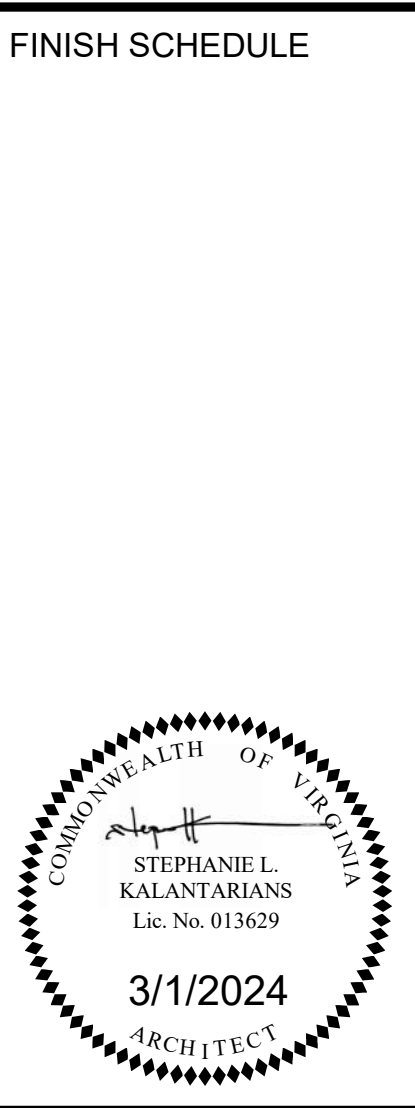
- NOT IN SCOPE FOR WALL PAINTING ONLY. HOLLOW METAL FRAMES SHOULD STILL BE REPAINTED.
-  CPT-1
-  CPT-2



WJCC BERKELEY MIDDLE SCHOOL FINISHES
 WJCC SCHOOLS
 1118 Ironbound Rd., Williamsburg, VA 23188

#	DESCRIPTION	DATE	INITIALS

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 Drawn: TOG Checked: SLK
 Project: 223133

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